

OWNER & BUILDER'S NOTE

These plans shall not be used for construction until stamped, signed and approved by the local building department. The builder is expected to follow these plans, applicable building codes and local ordinances. The Builder shall verify that site conditions are consistent with these plans before starting work. While these plans are drawn to show the proposed work as accurately as possible, schematic details may be used in some cases for clarity. Work not specifically detailed shall be constructed to the same quality as similar work that is detailed. Written dimensions and specific notes shall take precedence over scaled dimensions and general notes.

The engineer/designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes.

The engineer/designer assumes no responsibility for scheduling, fabrication, construction techniques or materials, or quantities used in the work. The engineer/ designer assumes no responsibility for field changes, site variances or discrepancies not brought to his/her attention for clarification.

GENERAL NOTES

All work shall be done in accordance with the California Building Code and local codes.

Foundation and truss design shall be verified by a qualified engineer for compliance with site requirements.

Nailing to be in compliance with cbc table 23-11-b-1

Water conservation plumbing fixtures

Dimensions and notes shall take precedence over the scaling of drawings.

All dimensions are to the exterior of framing unless noted otherwise.

Lumber coming in contact with concrete or masonry shall be treated to a minimum of 40.cca. all lumber in continuous contact with the ground shall be treated to a minimum of .60 cca.

All framing lumber to be #2 or better df or equivalent, unless noted otherwise.

Exterior and interior materials and finishes to be determined by owner.

EXTERIOR FINISH NOTES

Exterior finish to be t-1-11 siding to match existing dwelling .

Finished color to match existing dwelling.

Roofing to be composition shingles class b minimum over 30# felt, over 1/2 cdx plywood/osb. color to match primary dwelling roofing.

Downspouts to be collected and roof run off to be directed away from structure.

Finish grade shall slope away from structure min. 1/2" per foot of run for 4' min.

WINDOWS AND GLAZING

New windows shall be dual pane low-e with vinyl frames.

New windows will have a u-factor of 0.330 & a shgc of 0.35 (see title 24 reports sheet n/a).

Manufacturer be determined by owner. Colors to match primary dwelling

Every bedroom shall be provided with an egress window with finish sill height not greater than 44" above the finish floor height and shall have a minimum openable area of 5.7 sq. ft. egress windows shall not have an openable area less than 20" wide or 24" high.

Safety glazing shall be provided where glass is to be used in doors, within a 24" arc of doors and where the bottom edge is within 18" above the floor.

Safety glazing shall be provided in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers.

All windows frames to be finished to match primary dwelling colors.Type of windows (e.g.single hung, verus slider) may be different due to egress requirements.

DOORS

Doors between garage and living area shall be 1-3/4" tight fitting solid core doors with a rating of 60 minutes. Door shall be self-closing.

Exterior exit doors will be 36" min. net clear door way shall be 32" min. door shall be openable from inside without the use of a key or any special knowledge or effort. Glazing in doors shall be dual pane safety glass with min. u-value of 0.60. perimeter of door shall be weather stripped.

BUILDING PERFORMANCE

Heat loss calculations shall comply with the requirements of regional and local codes. See calculations.

Porches and garage areas not included in living area.

All exhaust fans to be vented directly to the exterior.

All penetrations of the building envelope shall be sealed with caulk or foam.

All combustion appliances will be vented directly to the exterior.

Furnace firebox shall have outside combustion air supply pursuant to regional and local codes.

Wall insulation to be r-13 (see title 24 reports) n/a

Floor insulation to be r-19 (see title 24 reports) n/a

Roof insulation to r-30 (see title 24 reports) n/a

Water heater ratings (see title 24 reports) n/a

ATTIC/CRAWL SPACE ACCESS

A minimum of 22" x 30", there shall be 30" min. clearance at or above the opening.

Located in a corridor, hallway or other readily accessible location. Attics with a maximum vertical height of less than 30" will not require access openings.

VENTILATION

Attic shall have ventilation equal to 1 sq. foot per 150 sq. feet of attic space. Ventilation shall be protected from snow and rain and shall be covered with galvanized wire screen. Openings shall be located to provide cross ventilation.

Garages shall be vented with 60 square inches located 6" above the floor surface.

Under floor spaces shall have ventilation equal to one sq. foot per 150 sq. feet of floor space. Vents shall be cast into the concrete stem walls and covered with galvanized wire screen. Vents shall be located to provide cross ventilation.

PROJECT DATA

OWNER: MATTHEW & CHERYL COGGAN

OWNER PHONE: Home: 530-268-2743, Cell: 408-316-9969

PROJECT ADDRESS: 11998 Walnut Court, Auburn, Ca 95602

APN: 21-170-19

ZONING: R1 RESIDENTIAL

FIRE DISTRICT: HIGGINS

WATER: PUBLIC

SEWER: PUBLIC SEWER

BUILDING AREAS

EXISTING DWELLING FOOT PRINT	2,876 sq ft
EXISTING DWELLING LIVING AREA	2,427 sq ft
EXISTING GARAGE AREA	449 sq ft
NEW GARAGE & STORAGE FOOT PRINT	961 sq ft
NEW GARAGE AREA	748 sq ft
NEW STORAGE AREA	213 sq ft
TOTAL FOOT PRINT AREA	3,837 sq ft
TOTAL IMPERVIOUS SURFACE AREA (See attached break down document)	10,014 sq ft
LOT AREA	34,238 sq ft
LOT COVERAGE	29%

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING

2001 CALIF	BUILDING CODE
2001 CALIF	MECHANICAL CODE
2001 CALIF	PLUMBING
2004 CALIF	ELECTRICAL CODE
2005 CALIF	CALIFORNIA ENERGY CODE

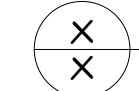
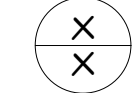

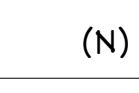
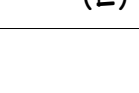
SCOPE OF WORK

To build new 748 sq ft garage with attached 213 sq ft storage. Exterior finishes to match existing dwelling.

PROJECT TEAM

DESIGNER	Mark Sweeney DBA Sweeney Builders CSL # 630896 10489 Robin Ave Grass Valley, Ca 95945 530-263-6995
STRUCTURAL	Lincoln and Long 568 East Main Street, Suite D Grass Valley, Ca 95945 530-274-3415
ENERGY	N/A

LEGEND

	DETAIL NUMBER
	SHEET
	SHEARNWALL TYPE
	SHEARNWALL LENGTH
	HOLDDOWN TYPE
(N)	NEW CONDITION
(E)	EXISTING CONDITION

SHEET INDEX

A-1	PROJECT INFO & GENERAL NOTES
A-2	SITE PLAN
A-3	FOUNDATION PLAN
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A-8	SECTION VIEWS
A-9	ELECTRICAL PLAN
SD	DETAILS/ SHEARNWALL SCHEDULE
SD-2	DETAILS

DATE REVISIONS

12-31-2007	Round#1 Corrections

COGGAN RESIDENCE

11998 WALNUT CT, AUBURN CA 95602

PROPOSED DETACHED GARAGE & STORAGE

INFORMATION

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OWNER PH.	Home: 530-268-2743 Cell: 408-316-9969
SITE ADDRESS	11998 WALNUT CT AUBURN CA 95602
SITE APN	21-170-19-000

DATE	12-31-2007
DRAWN BY	Mark Sweeney DBA Sweeney Builders CSL #630896, 530.263.6995
SCALE	NONE
JOB NO.	1471

PROJECT INFO & GENERAL NOTES

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SHEET	1 OF 11

PROJECT INFO & GENERAL NOTES

SCALE: NONE

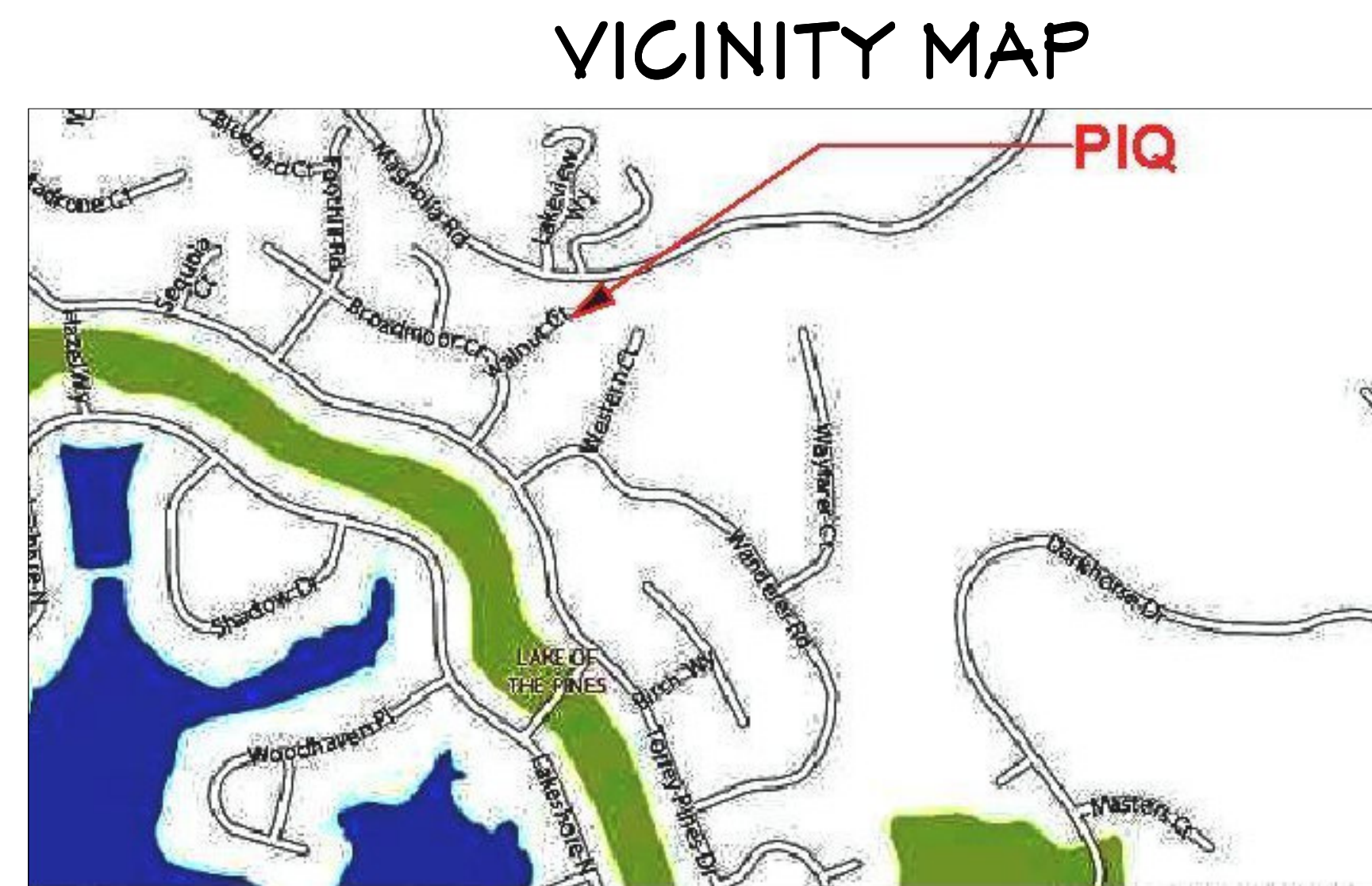
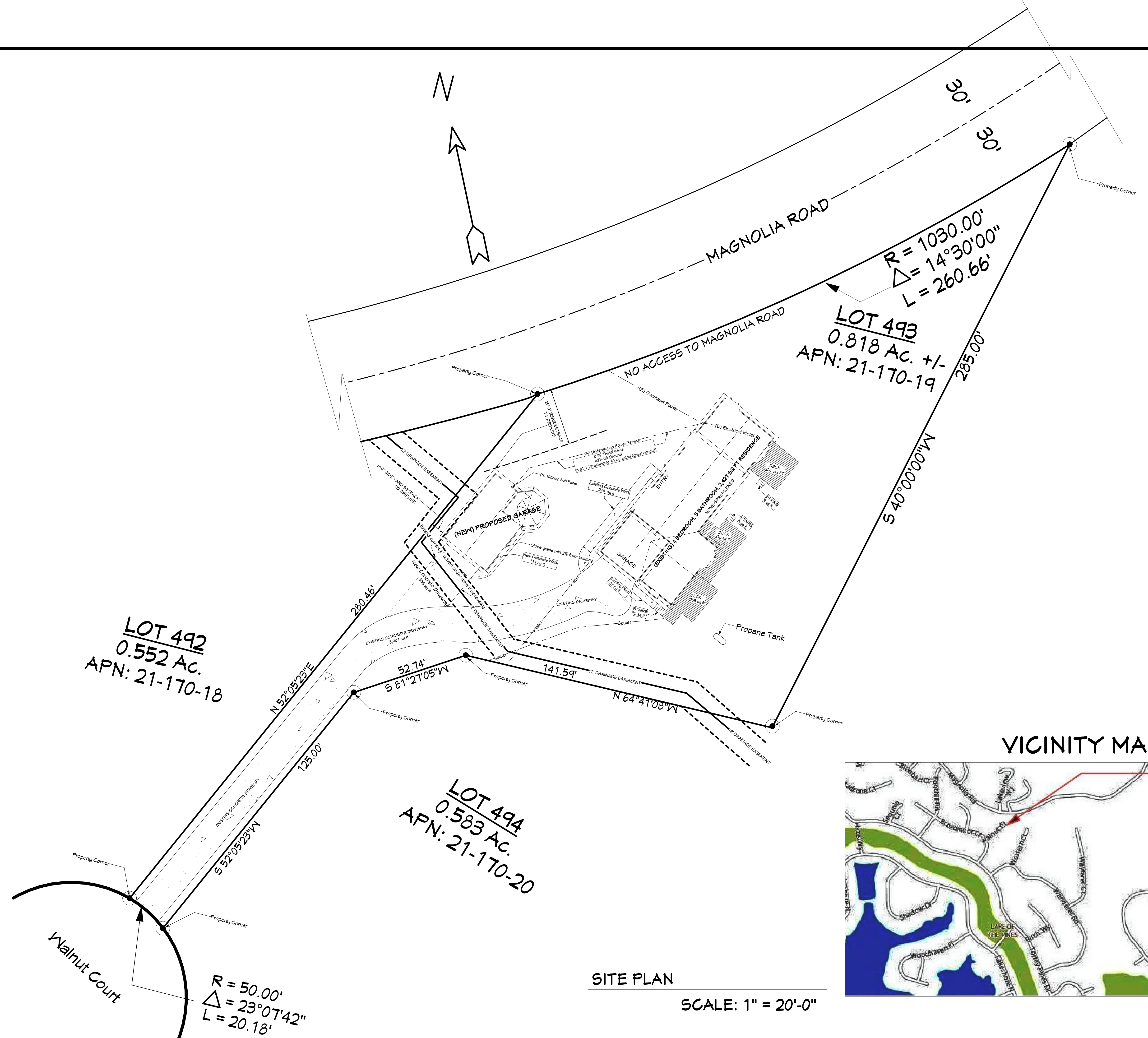
DATE	REVISIONS
12-31-2007	Round#1 Corrections
4-2-2008	Lot Line Adjustment Drainage Easement

COGGAN RESIDENCE
11998 WALNUT CT, AUBURN CA 95602
PROPOSED DETACHED GARAGE & STORAGE

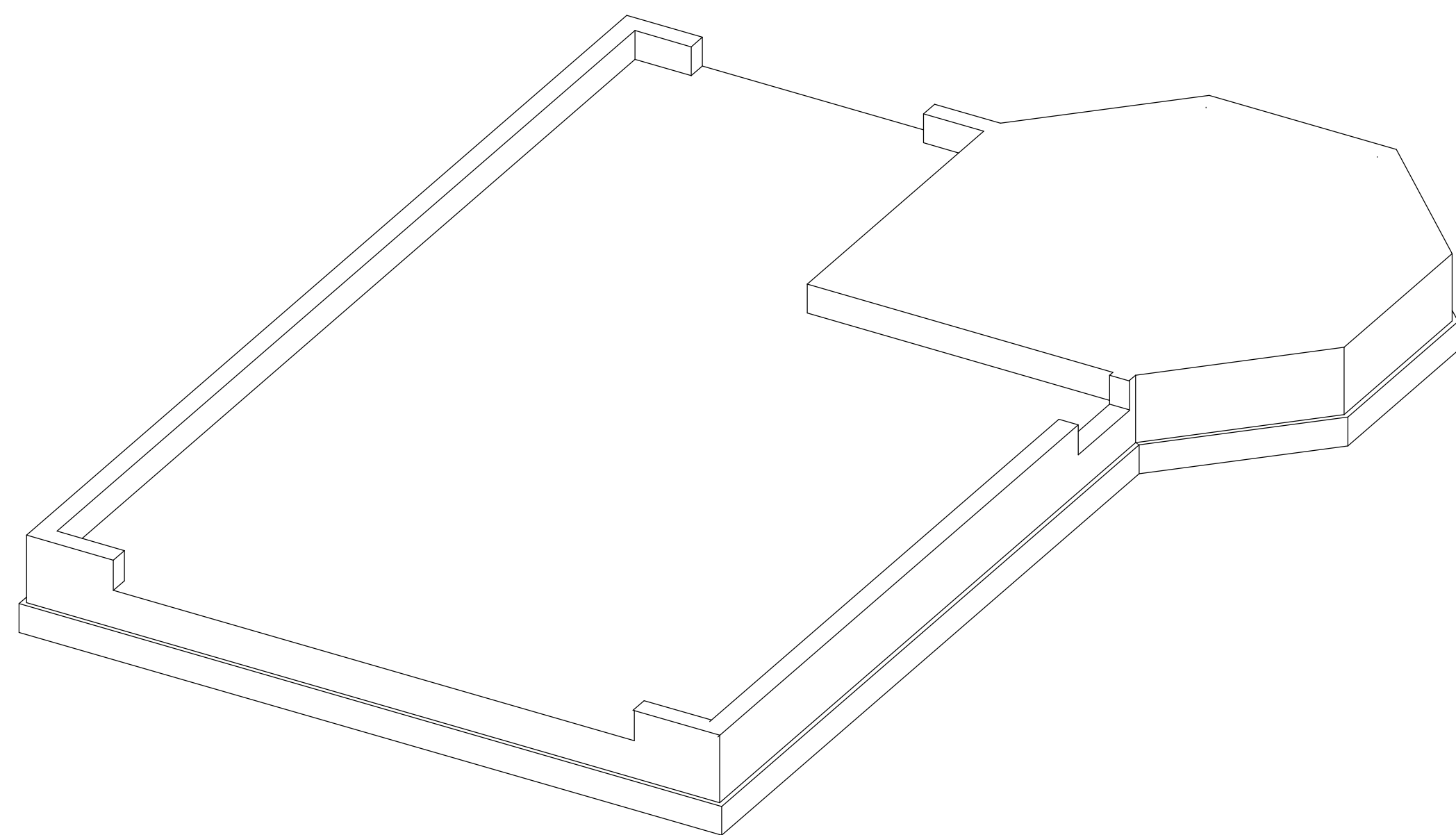
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SITE APN	21-170-19-000

DATE	4-2-2008
DRAWN BY	Mark Sweeney DBA Sweeney Builders CSL #630896, 530.263.6995
SCALE	1" = 20'-0"
JOB NO.	1471

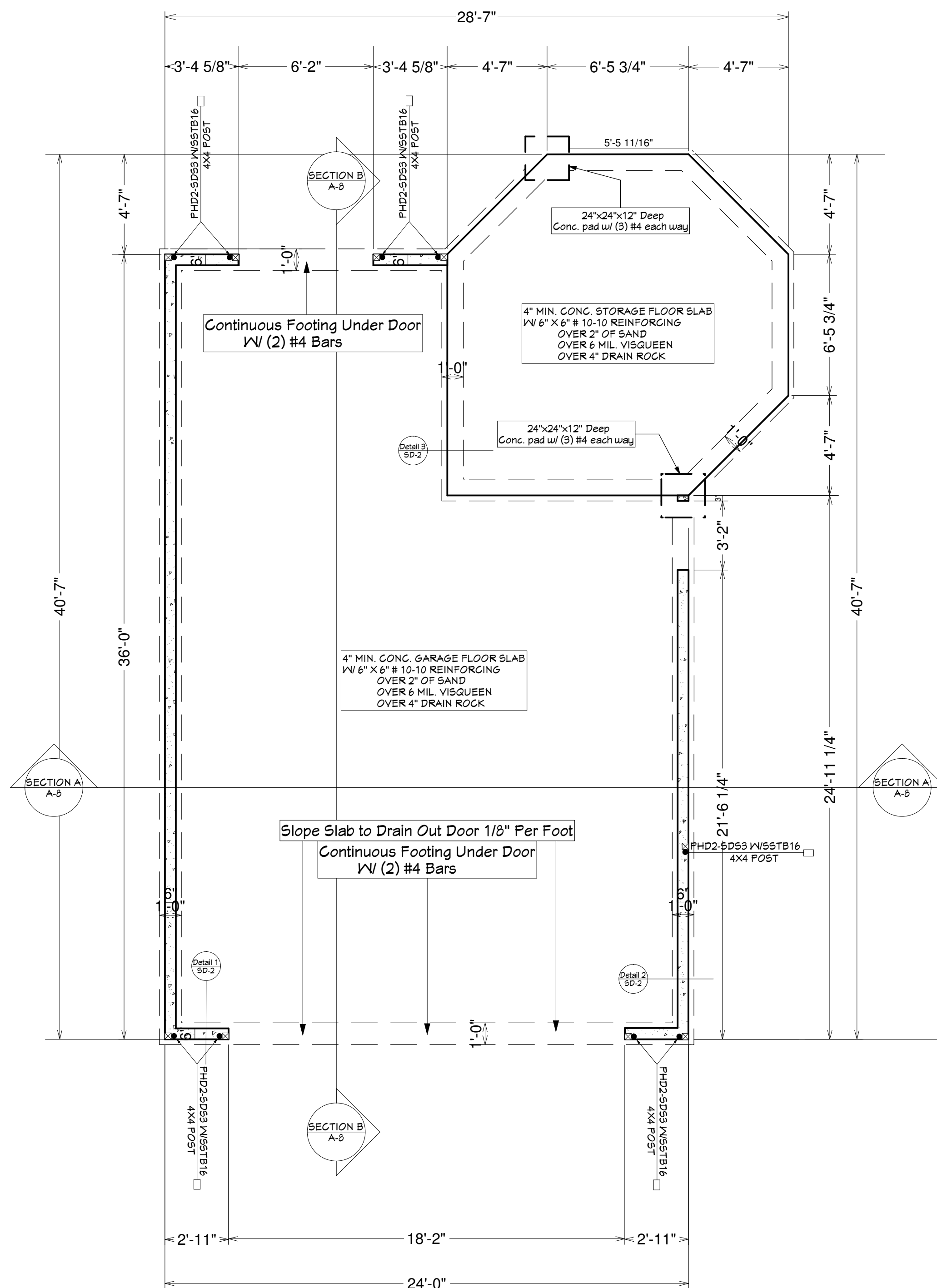
SITE PLAN	
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SITE PLAN
SCALE: 1" = 20'-0"



3D Foundation Overview for Illustration Purposes Only
SCALE: NONE



FOUNDATION PLAN NOTES:

1. See floor plan before pouring foundation for exact placement of all holdowns.
2. All one-story footings to be 1/2" deep into FIRM, undisturbed, native soil.
3. Concrete to withstand 2500 psi within 28 days.
4. Anchor bolts for sill plates shall be minimum 1/2" diameter, embedded at least 7" into the concrete or masonry foundation, and shall be spaced no more than 6' apart. A bolt shall be located not less than 12" from the ends of each plate.
5. Foundation sills shall be treated wood, or Foundation redwood.
6. Fasteners for pressure-preservative treated wood shall be hot-dipped galvanized, stainless steel, silicon bronze, or copper.
7. Provide 6" minimum vertical distance from grade to wood framing.
8. Minimum 2% grade slope away from foundation.
9. Holdown devices must be secured in place before holdown inspection.
10. Where soles or plates are cut for pipes, a metal tie minimum 0.058" thick and 1 1/2" wide shall be fastened across the opening with (6) 1 6d nails minimum each side.
11. Plumbing walls are to be 2X6 studs to accommodate maximum allowable boring and notching provisions.

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

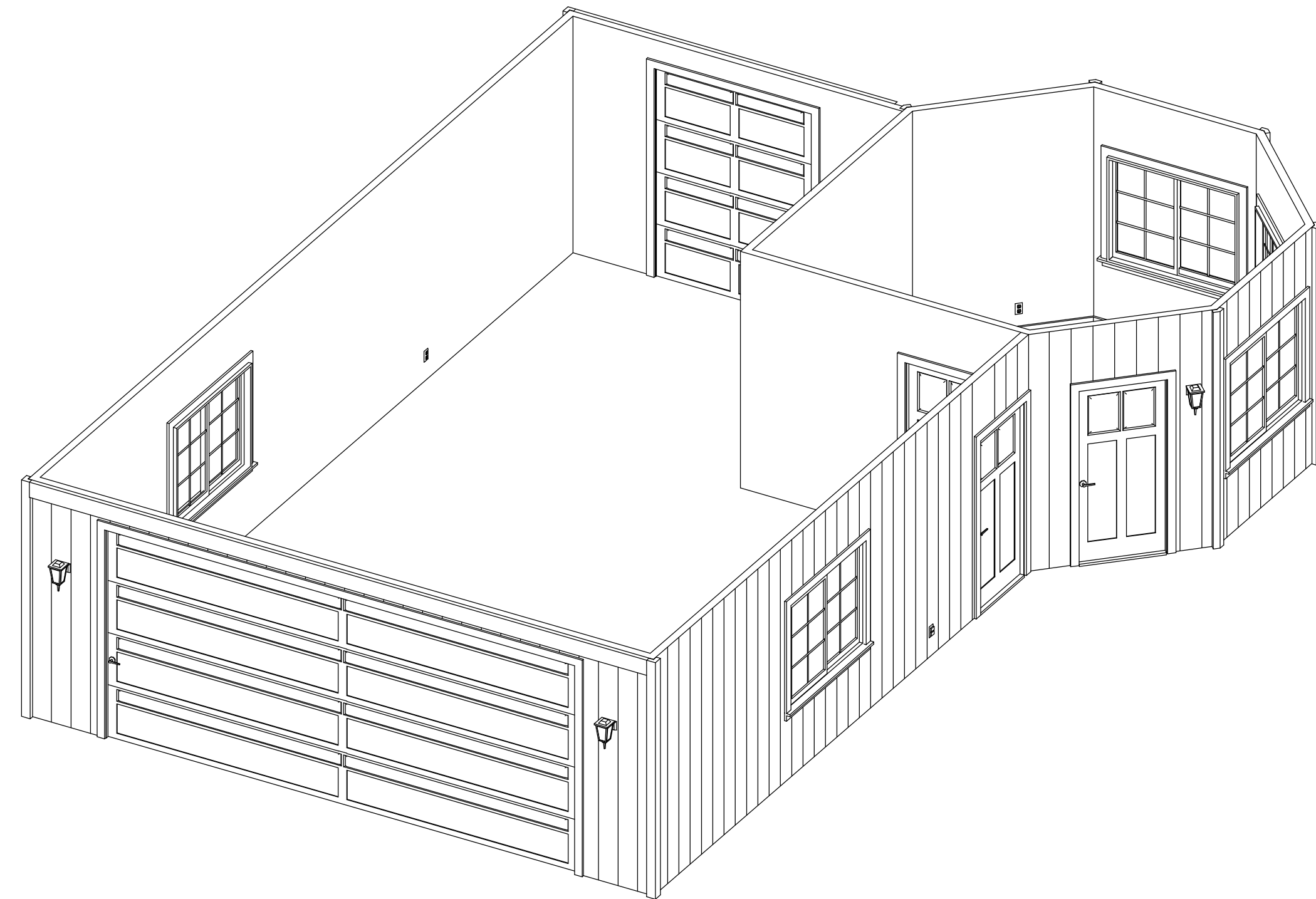
Note: See "SD" sheets for shearwall schedule, holdown description and other details.

DATE	REVISIONS
12-31-2007	Round#1 Corrections

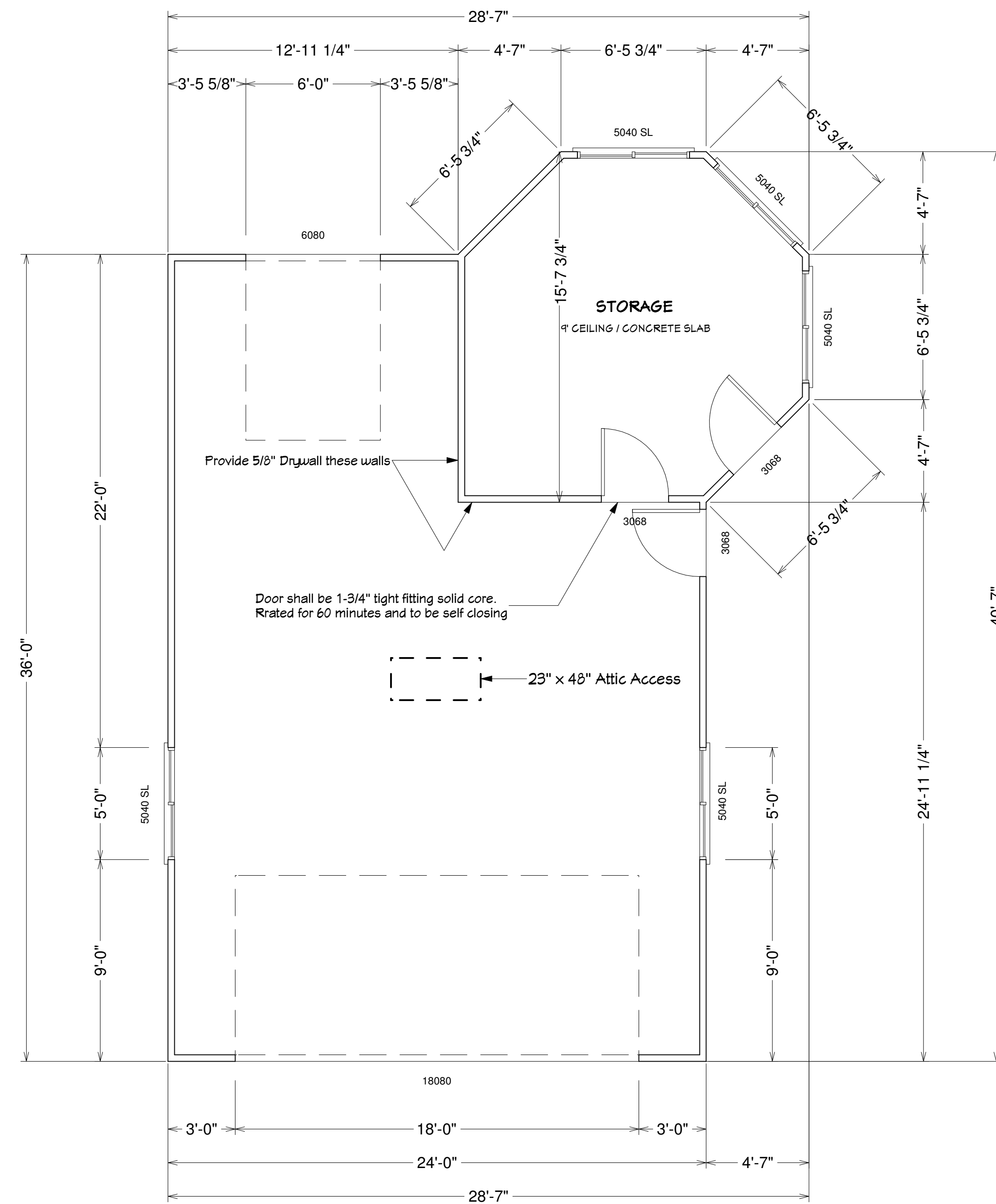
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11998 WALNUT CT, AUBURN CA 95602
PROPOSED DETACHED GARAGE & STORAGE

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SITE APN	21-170-19-000
DATE	12-31-2007
DRAWN BY	Mark Sweeney DBA Sweeney Builders CSL #630896, 530.263.6995
SCALE	1/4" = 1'-0"
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FOUNDATION PLAN	
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3D Overview for Illustration Purposes Only
SCALE: NONE



FLOOR PLAN
SCALE: 1/4" = 1'-0"

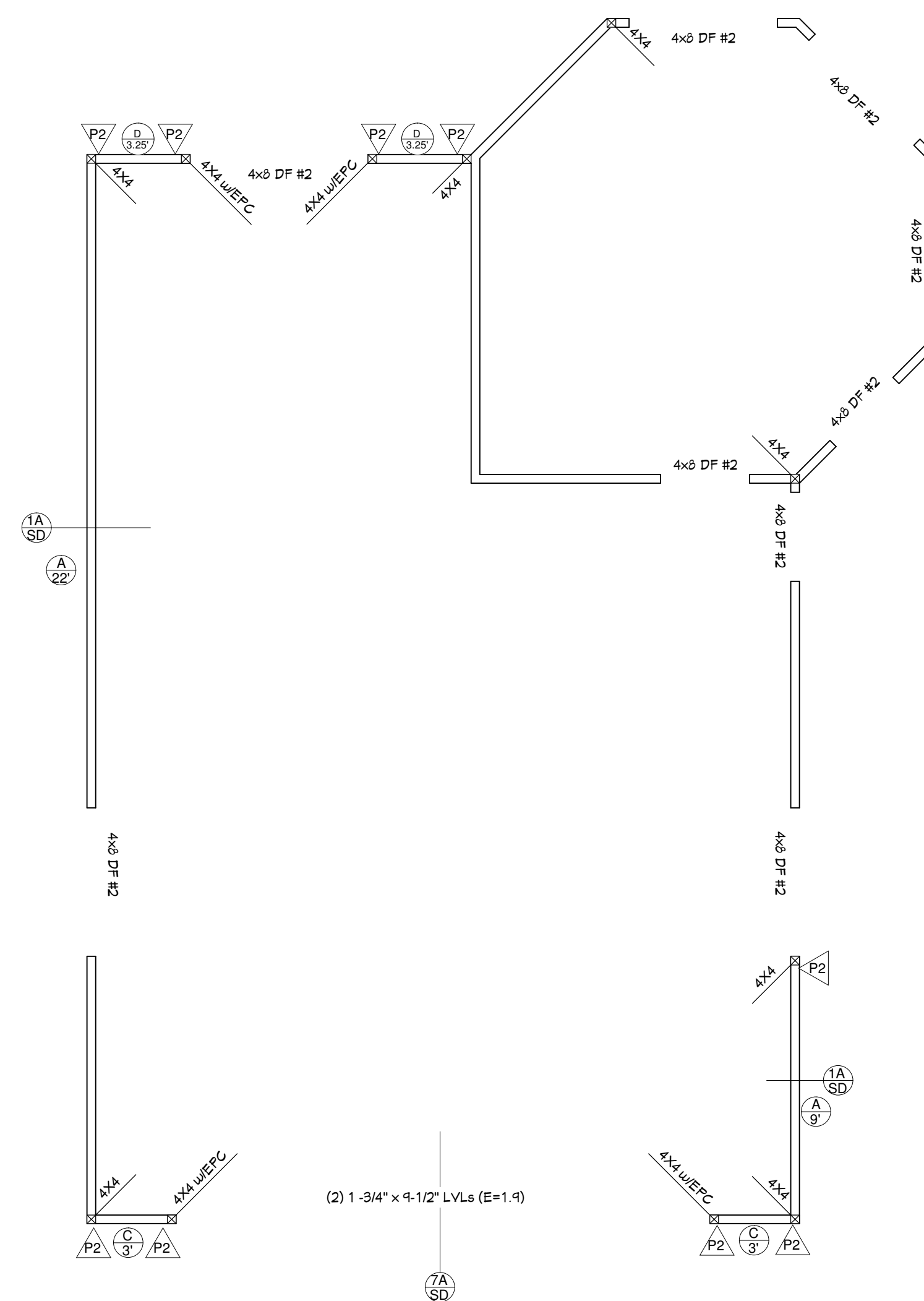
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FLOOR PLAN	
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FRAMING PLAN NOTES:

1. See "SD" sheets for shearwall schedule, holdown description and other details.
2. Shearwalls to be continuous from foundation to roof diaphragm.
3. Shear all gable ends with 3/8" OSB or equivalent and bd at 6" edges, 12" field.
4. Provide shear wall edge nailing to all posts which have hold downs
5. Provide 4x4 or 4x6 at all PHD's per plan
6. 2 x4 studs @ 16" O.C per plan.
7. All lumber in contact with concrete will be DF pressure treated
8. All plates shall have double top plates and be spliced a minimum of 48" for continuity
9. Comply with chapter 23 for conventional framing
10. Double joist under walls that run parallel to joist

FRAMING PLAN

SCALE: 1/4" = 1'-0"

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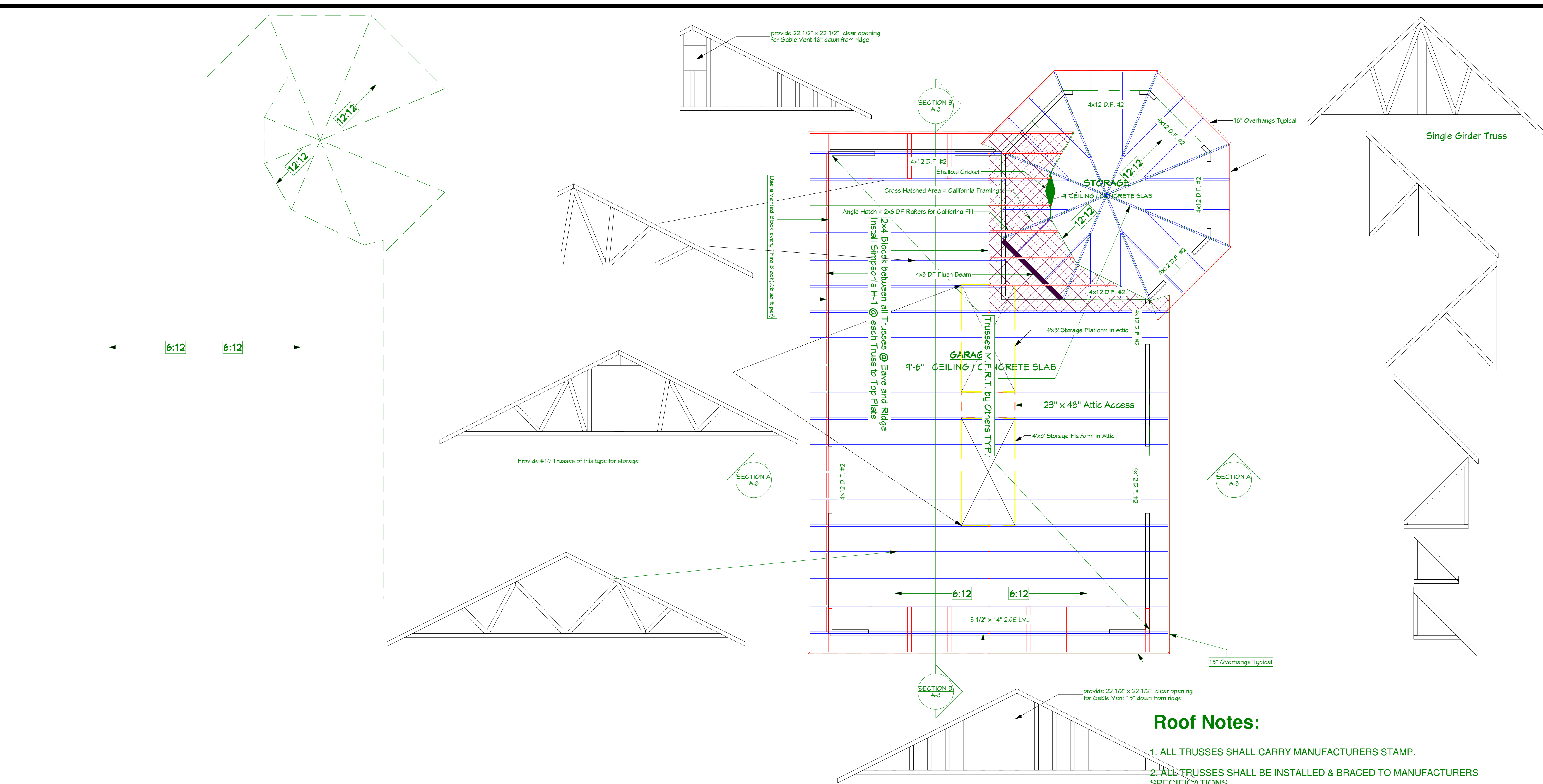
FRAMING PLAN	
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DATE	REVISIONS

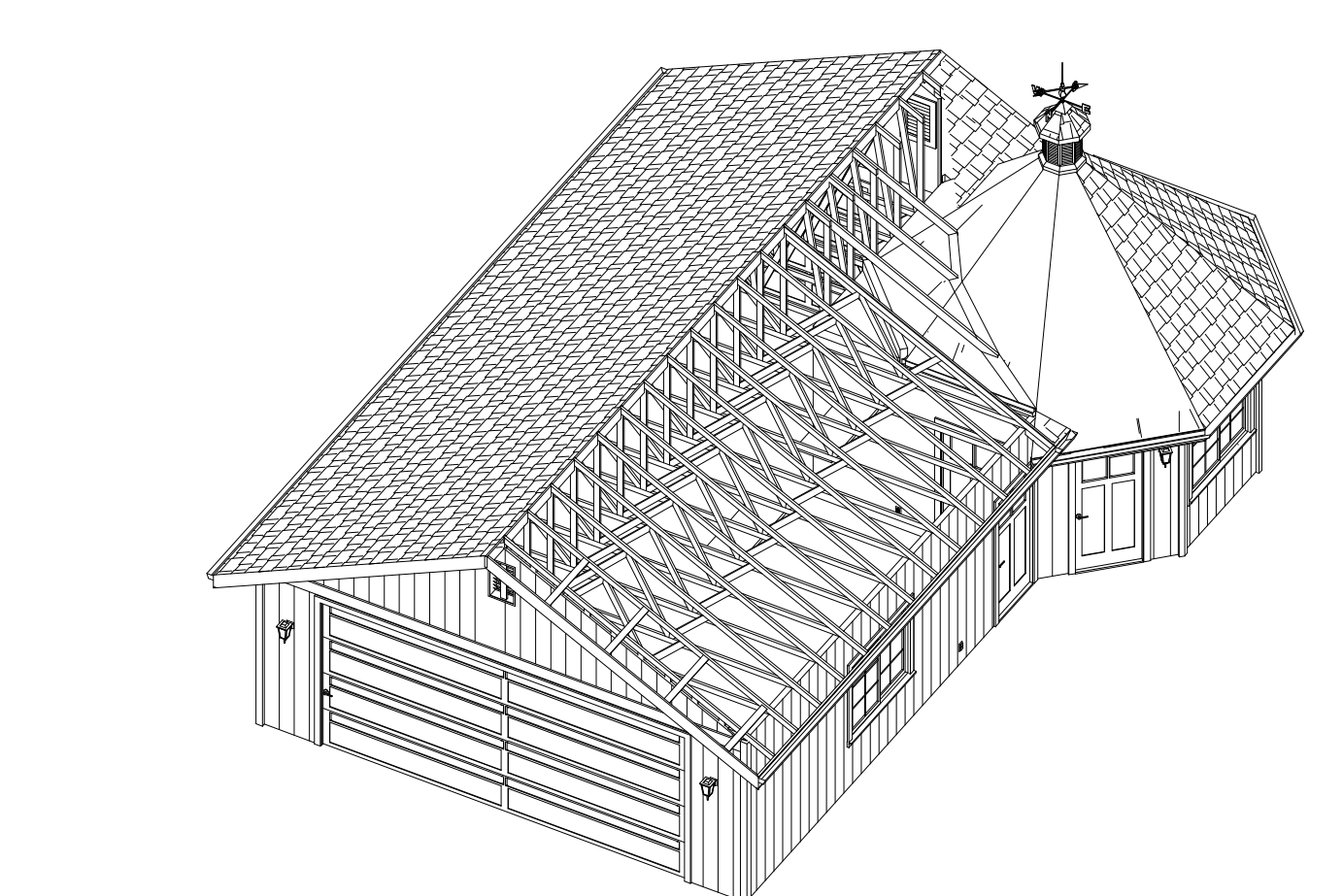
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PROPOSED DETACHED GARAGE & STORAGE

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SITE APN	21-170-19-000
DATE	11-30-2007
DRAWN BY	Mark Sweeney DBA Sweeney Builders CSL #630896, 530.263.6995
SCALE	1/4" = 1'-0"
JOB NO.	1471

ROOF PLAN	
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- Roof Notes:**
- ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
 - ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
 - ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
 - ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
 - TRUSSES SHALL BE DESIGNED TO SUPPORT FURNACE AND FURNACE PLATFORMS. CATWALKS TO BE ELEVATED TO PROVIDE CLEARANCE FOR INSULATION.
 - NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
 - TRUSSES SHALL BE HELD DOWN TO BEARING WALLS W/SIMPSON H1s.
 - ALL ROOF FRAMING 24" O.C.
 - ALL ROOF PITCH 6:12 GARAGE & 12:12 OVER STORAGE UNLESS NOTED OTHERWISE
 - ALL OVERHANGS 18".
 - PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.
 - PROVIDE GABLE VENTS AS SHOWN ON ELEVATIONS.
 - PROVIDE VENTED FREEZE BLOCKS OVER BEARING WALLS.
 - 30Yr Presidential Comp w/ 28 Gauge Valley Flashing over 30# Felt over 1/2" CDX or OSB Ply Sheathing APA 32/16 Nailed w/ 8d @ 6" O.C. Edge & 12" O.C. Field Sheathing Exposed to Weather use CCX Ply over Pre-Engineered Trusses or Rafters Per Plan



3D Overview for Illustration Purposes Only
 SCALE: NONE
 ROOF PLAN
 SCALE: 1/4" = 1'-0"

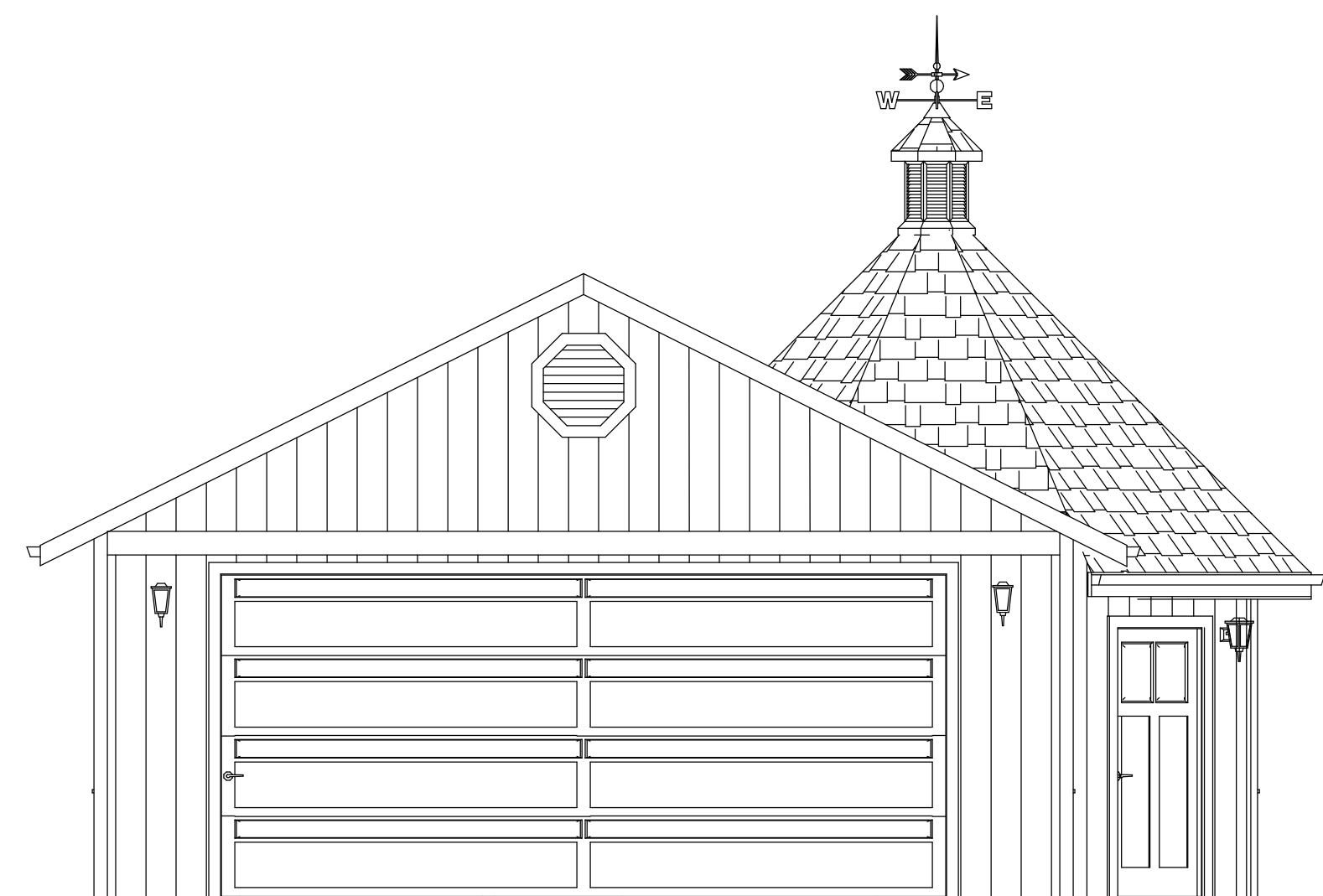
Attic Ventilation Needs:

Net Free Area Above Garage = 17'-6" x 24'-0" = 420 sq ft
 420 sq ft / 150 sq ft = 2.8 sq ft of Ventilation required
 Provide 1 Gable end vent 14" x 22" = 2.21 sq ft
 Provide 2 Eye Brow vents 4" x 19" = .58 sq ft per Eye Brow vent times 2 = 1.16 sq ft
 Total Ventilation Above Garage = 2.21 sq ft + .58 sq ft + 1.04 sq ft = 3.83 sq ft of Total Ventilation Above Garage

Net Free Area Above Living Area = 27'-5" x 35'-0" = 976 sq ft
 976 sq ft / 150 sq ft = 6.5 sq ft of Ventilation required
 Provide 2 Gable end vents 14" x 22" = 2.21 sq ft times 2 = 4.42 sq ft
 Vented Freeze Blocks 3 2 1/4" holes per block times 6 blocks = .48 sq ft of Ventilation @ eaves
 Provide 4 Eye Brow vents 4" x 19" = .58 sq ft times 4 vents = 2.08 sq ft
 Total Ventilation Above Living Area = 4.42 sq ft + .48 sq ft + 2.08 sq ft = 6.98 sq ft. of Total Ventilation Above Living Area

TBD

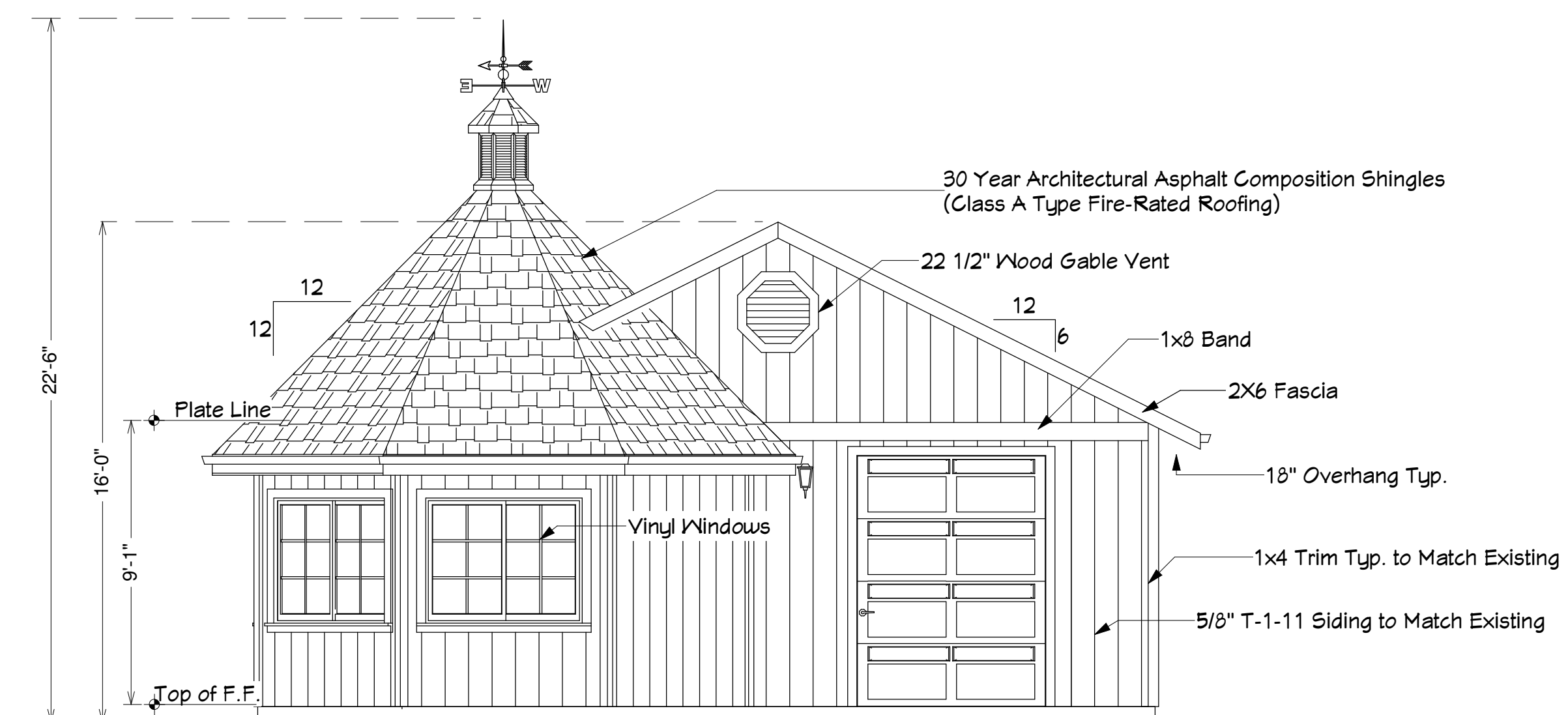
DATE	REVISIONS
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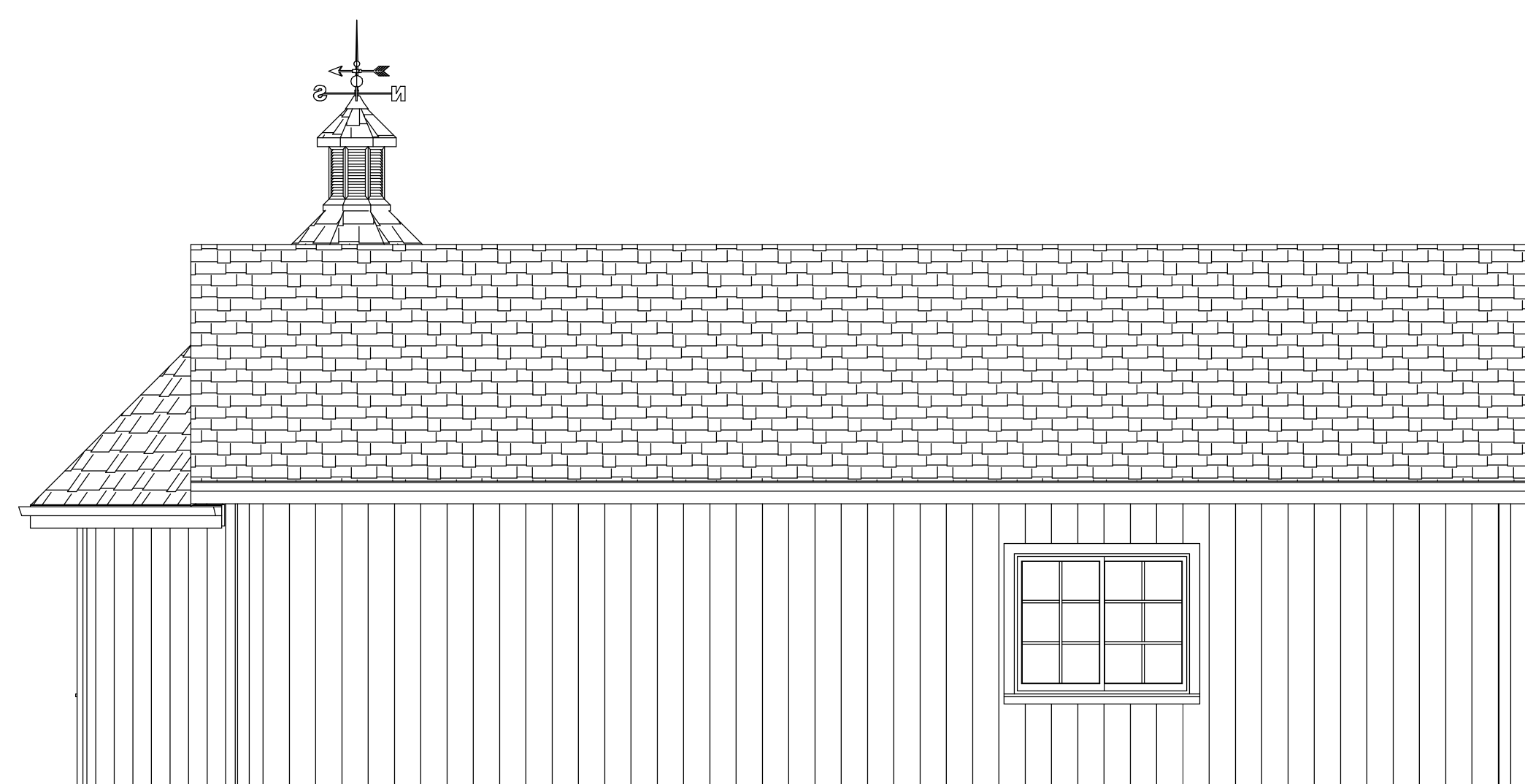
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

COGGAN RESIDENCE
 11998 WALNUT CT, AUBURN CA 95602
PROPOSED DETACHED GARAGE & STORAGE

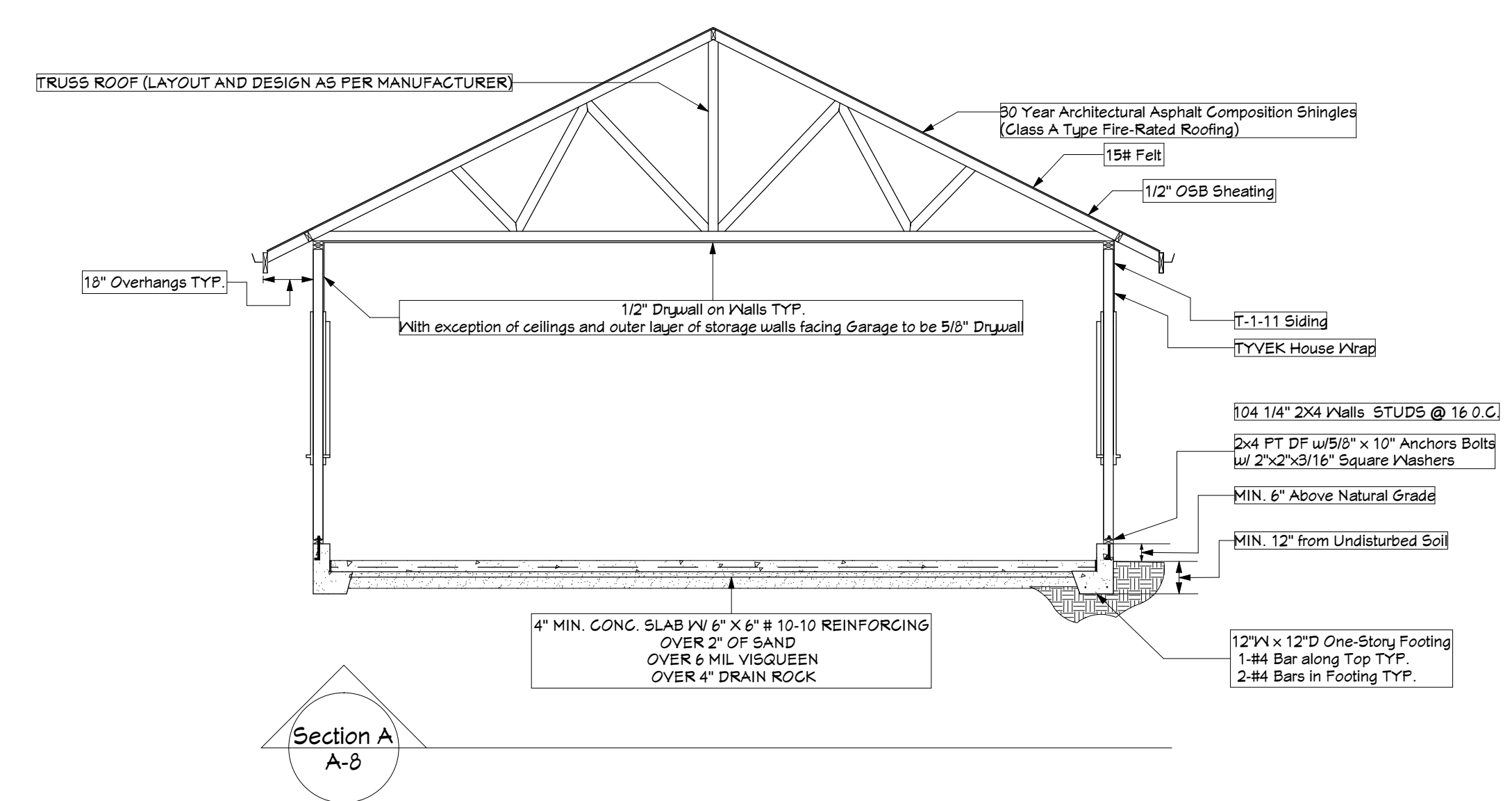
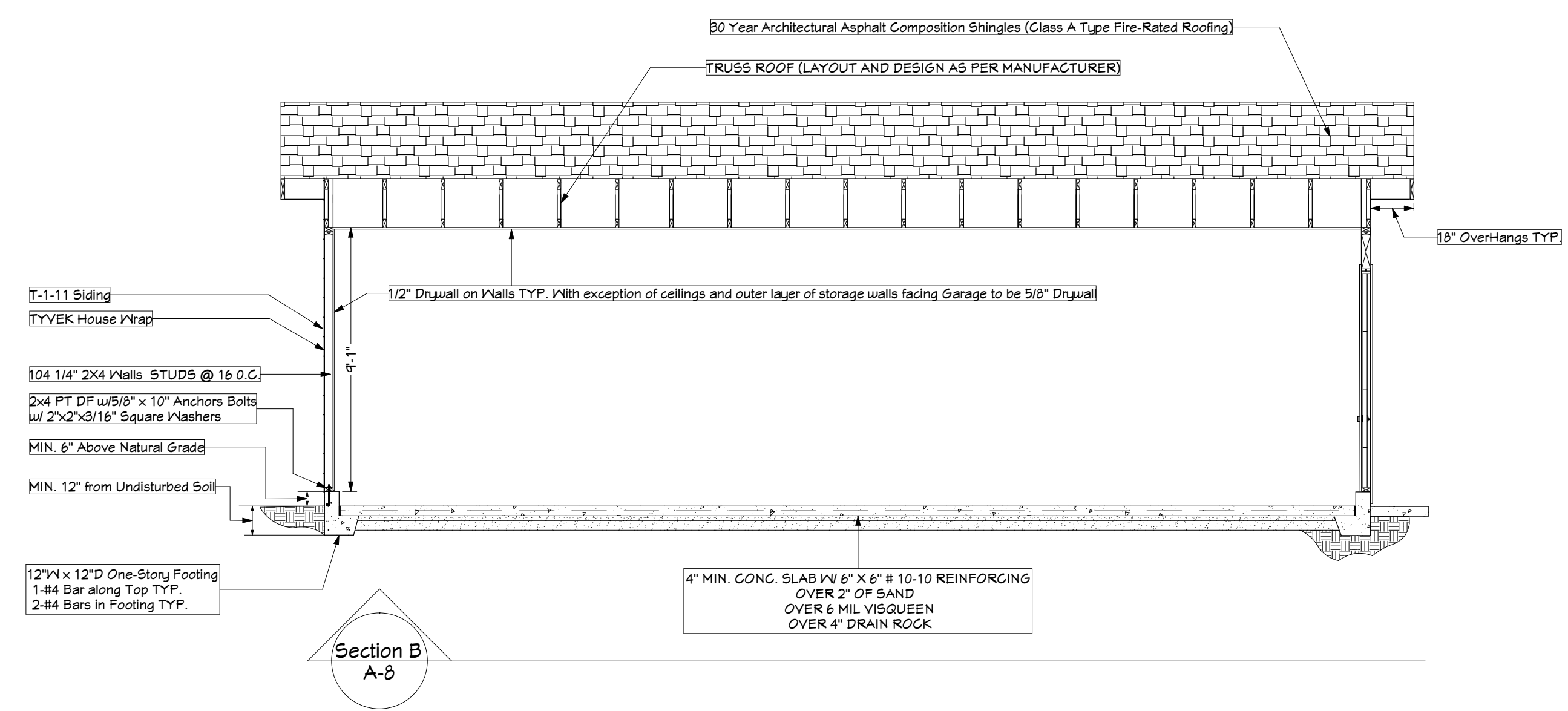
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DATE	12-31-2007
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SCALE	1/4" = 1'-0"
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EXTERIOR ELEVATIONS	
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Exterior Elevations

Scale: 1/4" = 1'-0"

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Section Views
Scale: 1/4" = 1'-0"

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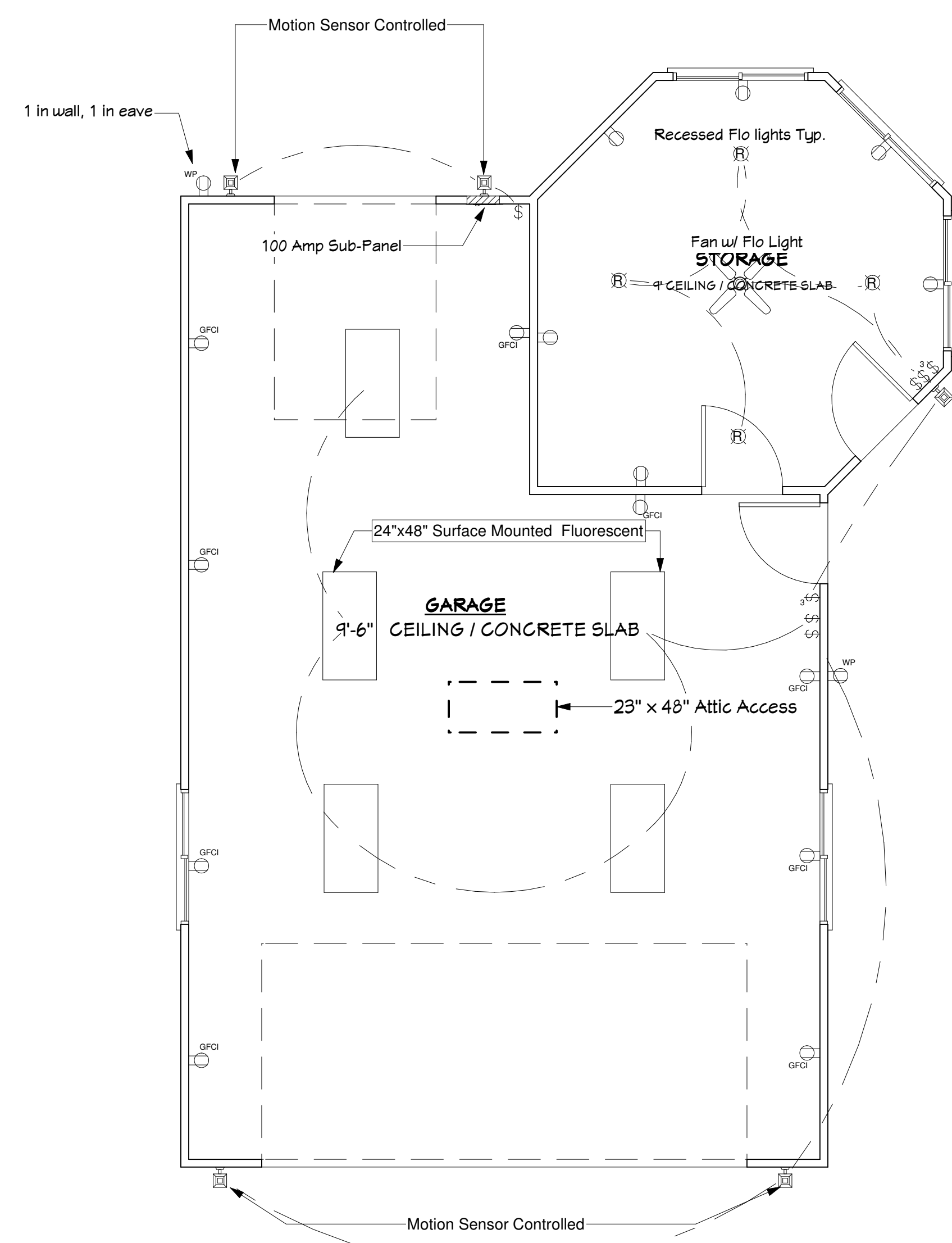
SECTION VIEWS	
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ELECTRICAL PLAN	
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	METER SOCKET
	PANEL BOX
	CEILING FAN W/ LIGHT
	FLUORESCENT LIGHT FIXTURE
	110V CEILING LIGHT FIXTURE
	110V RECESSED LIGHT FIXTURE
	110V EAVE LIGHT FIXTURE
	110V CHANDELIER LIGHT FIXTURE
	110V WALL LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	OUTDOOR SWITCH
	110V DUPLEX RECEPTACLE
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER
	110V FLOOR MOUNTED DUPLEX RECEPTACLE
	240V RECEPTACLE
	TELEPHONE JACKS
	TELEVISION JACKS
	DOOR BELL PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	EXHAUST FAN
	DOOR CHIME
	FIRE ALARM PANEL
	COMPUTER POINT
	RECESSED FLOURESCENT

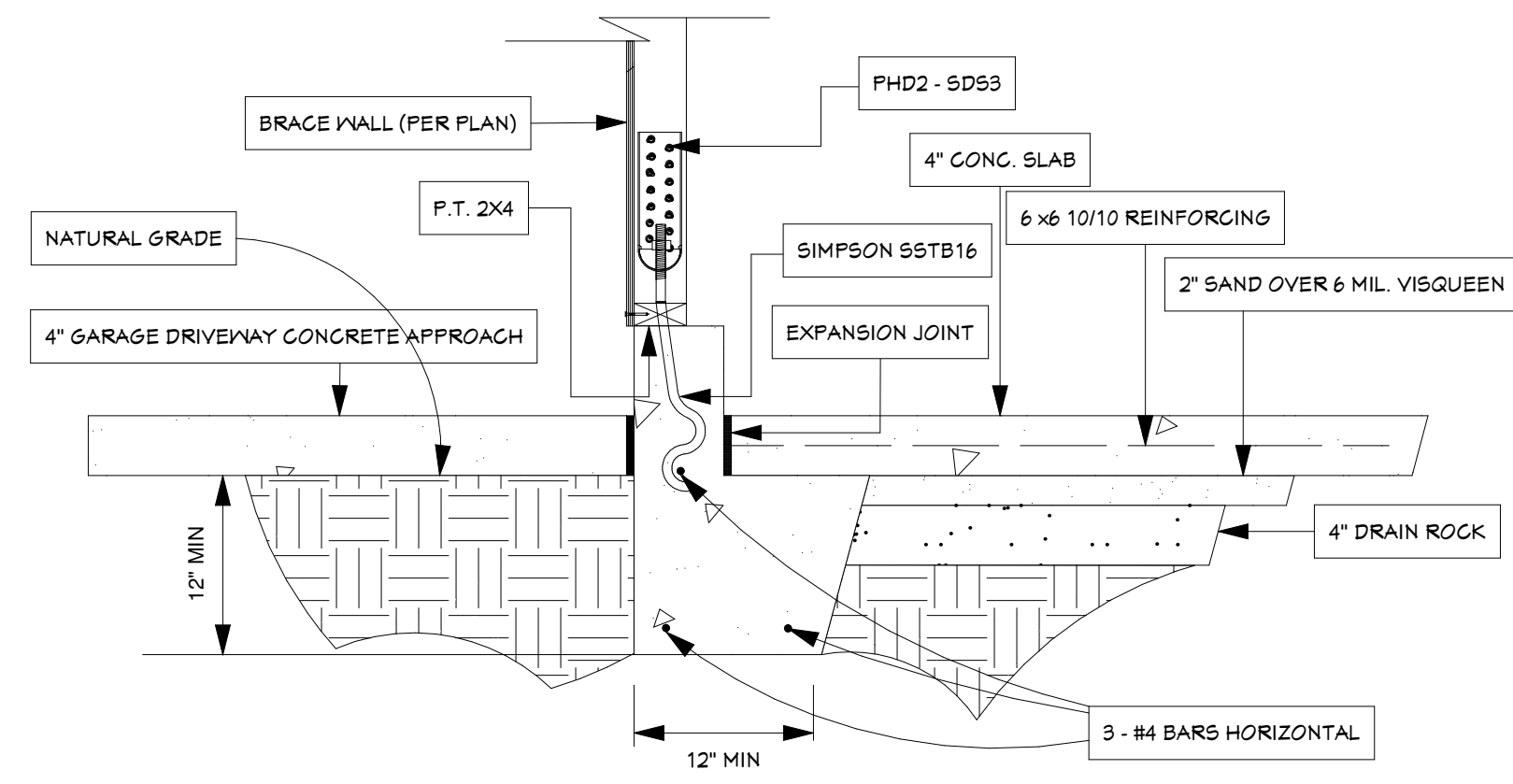
ELECTRICAL PLAN NOTES:

GENERAL ELECTRICAL: PER CURRENT ELECTRICAL CODES AND AS NOTED IN PLAN.
 ELECTRICAL BOXES TO SUPPORT FANS AND LARGE FIXTURES SHALL BE APPROVED FOR SUPPORTING SUCH LOADS.
 COVERED JUNCTION BOXES SHALL BE PROVIDED UNDER KITCHEN SINKS TO PROVIDE POWER FOR DISHWASHERS, GARBAGE DISPOSERS AND OTHER APPLIANCES AS REQUIRED.
 SMOKE DETECTORS:
 SMOKE DETECTORS SHALL BE POWERED FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP.
 SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING AREA, AT POINTS CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.
 SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM WHEN THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOM EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE.
 SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING IN WHICH THEY ARE LOCATED.
 LIGHTING:
 THE PRIMARY LIGHTING FOR KITCHENS AND BATHROOMS SHALL HAVE A MIN EFFICIENCY OF 40 LUMENS PER WATT.
 AN EXTERIOR LIGHT SHALL BE PROVIDED FOR EACH EXIT.
 A SWITCH FOR AN INTERIOR LIGHT SHALL BE PROVIDED AT EVERY ENTRANCE.
 INCANDESCENT LIGHTS SHALL NOT BE PLACED CLOSER THAN 12" FROM THE NEAREST POINT OF A STORAGE AREA ON A SHELF.
 INCANDESCENT LIGHT FIXTURES LOCATED IN CLOSETS SHALL BE SHIELDED.
 LIGHTING WILL BE PROVIDED FOR MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR UNDER FLOOR SPACE.
 A LIGHT SWITCH SHALL BE PROVIDED AT THE ACCESS OPENING.
 ELECTRICAL OUTLETS:
 ELECTRICAL OUTLETS IN BATHROOMS TO BE ON A DEDICATED CIRCUIT WITHIN THREE FEET OF SINKS, IN GARAGES, BASEMENTS AND OUTDOORS SHALL BE GFI PROTECTED.
 EXTERIOR OUTLETS SHALL HAVE WEATHER PROOF COVERS.
 EXTERIOR ELECTRICAL OUTLETS SHALL BE PROVIDED AT THE FRONT AND BACK OF THE BUILDING.
 ELECTRICAL OUTLETS SHALL BE PLACED NOT FURTHER THAN 12' O.C. ON EVERY WALL AND SHALL BE PLACED ON WALLS GREATER THAN 2' IN LENGTH.
 COUNTERTOPS 12" AND WIDER SHALL HAVE ELECTRICAL OUTLETS SPACED NOT GREATER THAN 48" O.C.
 HALLWAYS 10' OR GREATER IN LENGTH SHALL HAVE AT LEAST ONE ELECTRICAL OUTLET.
 MECHANICAL EQUIPMENT SHALL HAVE AN ELECTRICAL OUTLET LOCATED WITHIN 25'.
 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACES WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.
 PROVIDE TWO OR MORE DEDICATED 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREA.
 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULA COUNTER WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.
 EACH BEDROOM TO BE ON ITS OWN ARC FAULT CIRCUIT FOR ALL RECEPTACLES & LIGHTING

MECHANICAL NOTES:

Furnace Specs:
 Make: N/A
 Model: N/A
 Efficiency Rating: N/A
Air Conditioning Unit Specs:
 Make: N/A
 Model: N/A
 Efficiency Rating: N/A

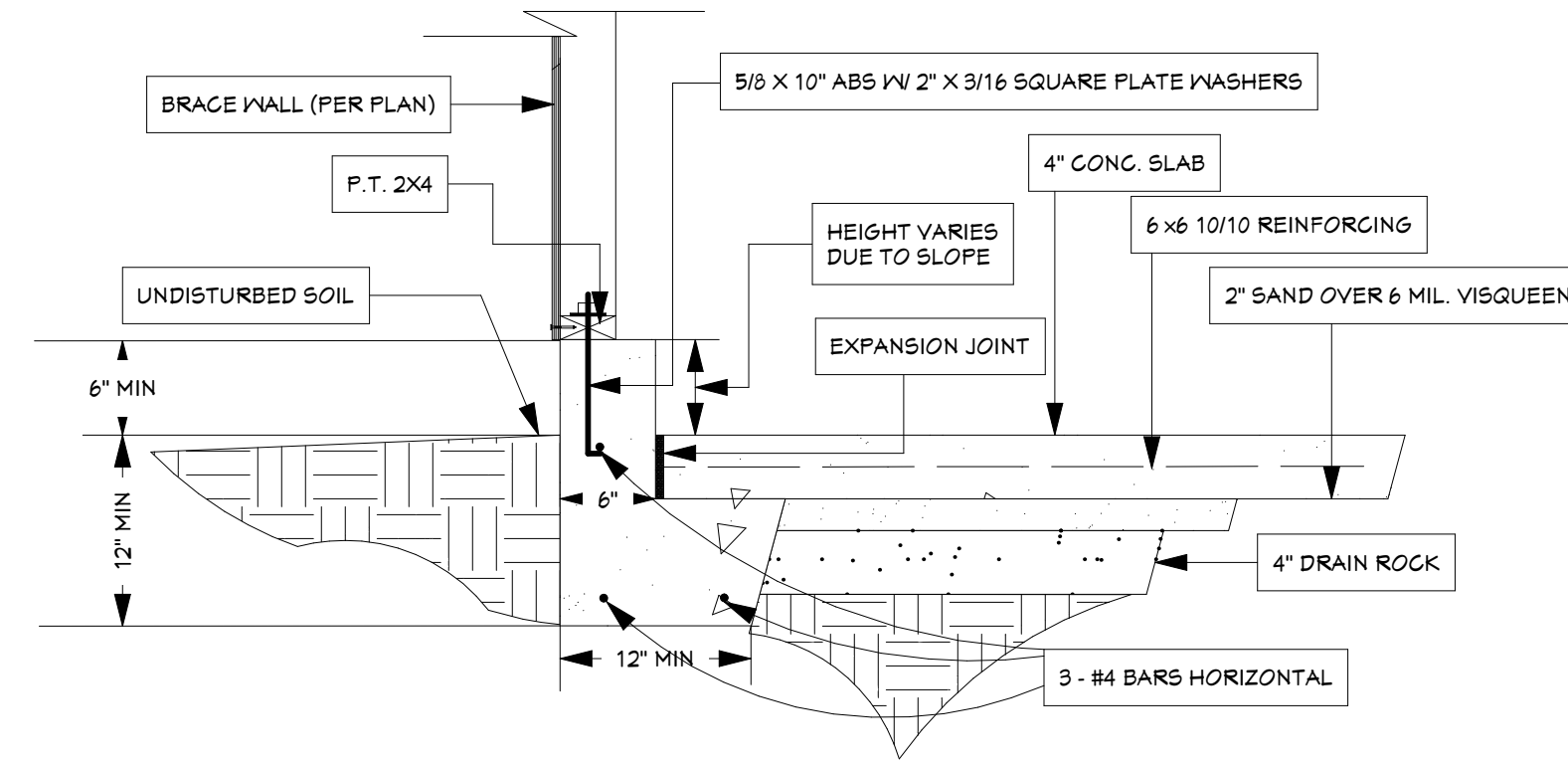
Electrical Plan
Scale: 1/4" = 1'-0"



Detail 1
SD-2

APPROCH EDGE OF GARAGE FLOOR SLAB

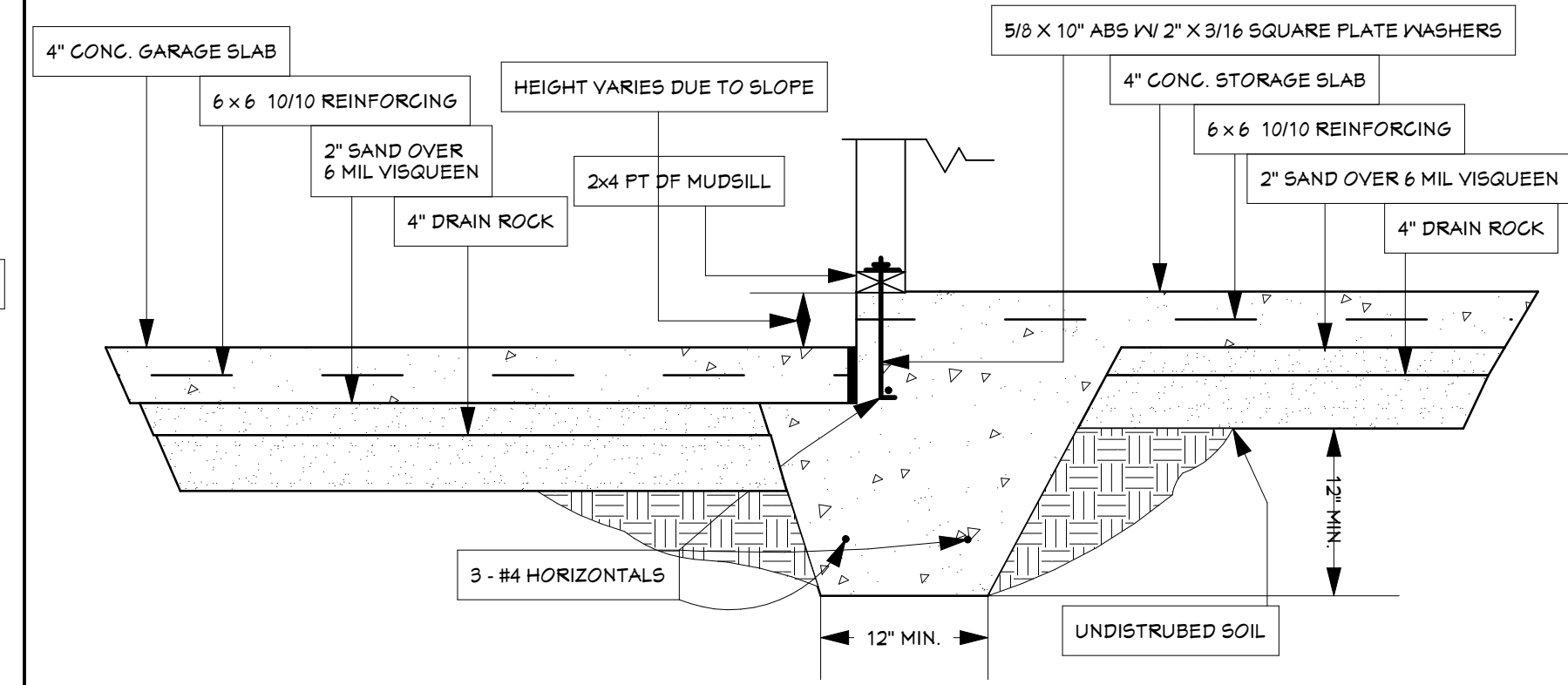
NOTE: POUR FOOTING ON UNDISTURBED SOIL
SCALE: 1" = 1'-0"



Detail 2
SD-2

ONE-STORY GARAGE STEM WALL CURB & FOOTING

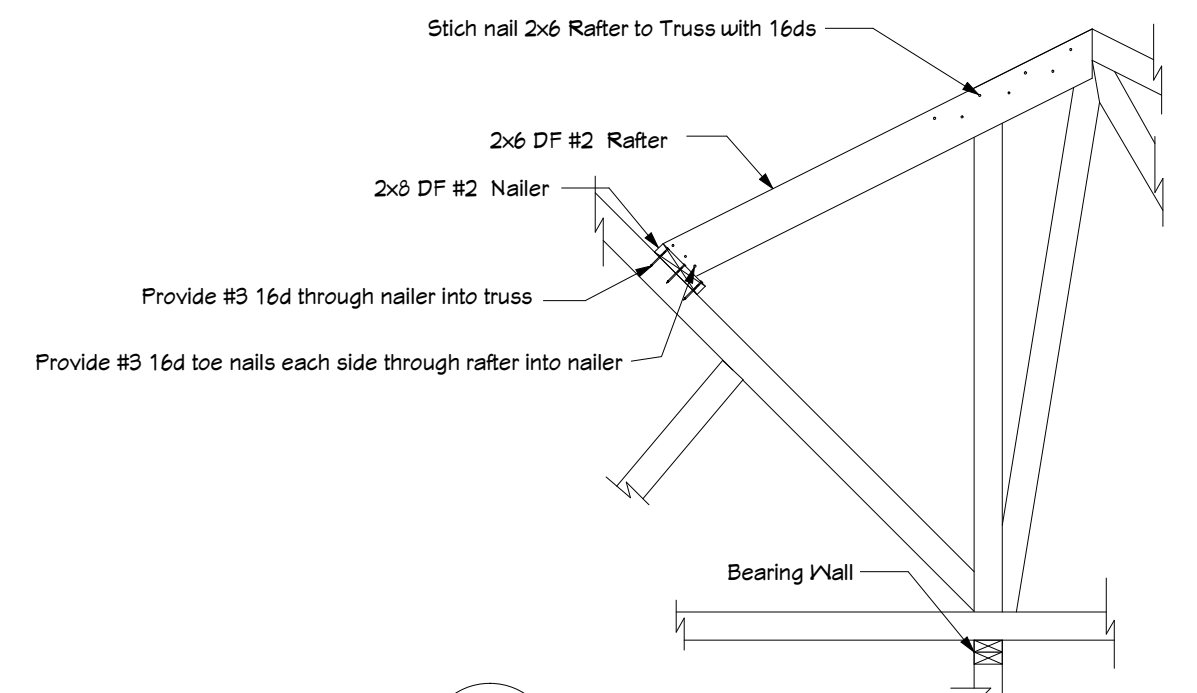
NOTE: POUR FOOTING ON UNDISTURBED SOIL
SCALE: 1" = 1'-0"



Detail 3
SD-3

EDGE OF STORAGE SLAB @ GARAGE

NOTE: POUR FOOTING ON UNDISTURBED SOIL
SCALE: 1" = 1'-0"



Detail 4
SD-2

CALIFORNIA ROOF FRAMING DETAILS
SCALE: 1/2" = 1'-0"

DATE	REVISIONS
12-31-2007	Round#1 Corrections

COGGAN RESIDENCE

11998 WALNUT CT, AUBURN CA 95602

PROPOSED DETACHED GARAGE & STORAGE

INFORMATION	
OWNER NAME	MATTHEW & CHERYL COGGAN
OWNER MAILING ADDR:	11998 WALNUT CT AUBURN CA 95602
OWNER PH.	Home: 530-268-2743 Cell: 408-316-9969
SITE ADDRESS	11998 WALNUT CT AUBURN CA 95602
SITE APN	21-170-19-000
DATE	12-31-2007
DRAWN BY	Mark Sweeney DBA Sweeney Builders CSL #630896, 530.263.6995
SCALE	PER DETAIL
JOB NO.	1471

DETAILS	
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