

### OWNER & BUILDER'S NOTE

These plans shall not be used for construction until stamped, signed and approved by the local building department. The builder is expected to follow these plans, applicable building codes and local ordinances. The Builder shall verify that site conditions are consistent with these plans before starting work. While these plans are drawn to show the proposed work as accurately as possible, schematic details may be used in some cases for clarity. Work not specifically detailed shall be constructed to the same quality as similar work that is detailed. Written dimensions and specific notes shall take precedence over scaled dimensions and general notes.

The Designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes.

The Designer assumes no responsibility for scheduling, fabrication, construction techniques or materials, or quantities used in the work. The engineer/ designer assumes no responsibility for field changes, site variances or discrepancies not brought to his/her attention for clarification.

### GENERAL NOTES

All work shall be done in accordance with the California Building Code and local codes.

Nailing to be in compliance with CBC table 23-11-b-1

Water conservation plumbing fixtures

Dimensions and notes shall take precedence over the scaling of drawings.

All dimensions are to the exterior of framing unless noted otherwise.

Lumber coming in contact with concrete or masonry shall be treated to a minimum of 40 cca. all lumber in continuous contact with the ground shall be treated to a minimum of .60 cca.

All framing lumber to be #2 or better df or equivalent, unless noted otherwise.

Exterior and interior materials and finishes to be determined by owner.

### EXTERIOR FINISH NOTES

Exterior siding to be 5/8" T-1-11 with 1x4 spruce or pack prime trim @ corners, windows and doors.

30 Year Architectural Asphalt Composition Shingles (Class A Type Fire-Rated Roofing) to Match Existing. over 30# felt over 1/2" OSB or CDX. Color to match existing dwelling roofing.

Downspouts to be collected and roof run off to be directed away from dwelling.

Finish grade shall slope away from dwelling min. 1/8" per foot of run for 4' min.

### WINDOWS AND GLAZING

New windows shall be dual pane low-e with vinyl frames.

Jeldwen windows (or equal) with NFRC values not to exceed 0.30 U Factor and 0.25 SHGC....

(see title 24 reports sheet T-1 and T-2). for U-factor & SHGC ratings

Manufacturer to be determined by owner. Colors to match through out.

Every bedroom shall be provided with an egress window with finish sill height not greater than 44" above the finish floor height and shall have a minimum openable area of 5.7 sq. ft. egress windows shall not have an openable area less than 20" wide or 24" high.

Safety glazing shall be provided where glass is to be used in doors, within a 24" arc of doors and where the bottom edge is within 18" above the floor.

Safety glazing shall be provided in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers.

All windows frames to be finished to match through out. Type of windows (e.g. single hung, verus slider) may be different due to egress requirements.

### DOORS

Manufacturer to be determined by owner. Colors to match through out.

### BUILDING PERFORMANCE

Heat loss calculations shall comply with requirements of regional and local codes. See calculations.

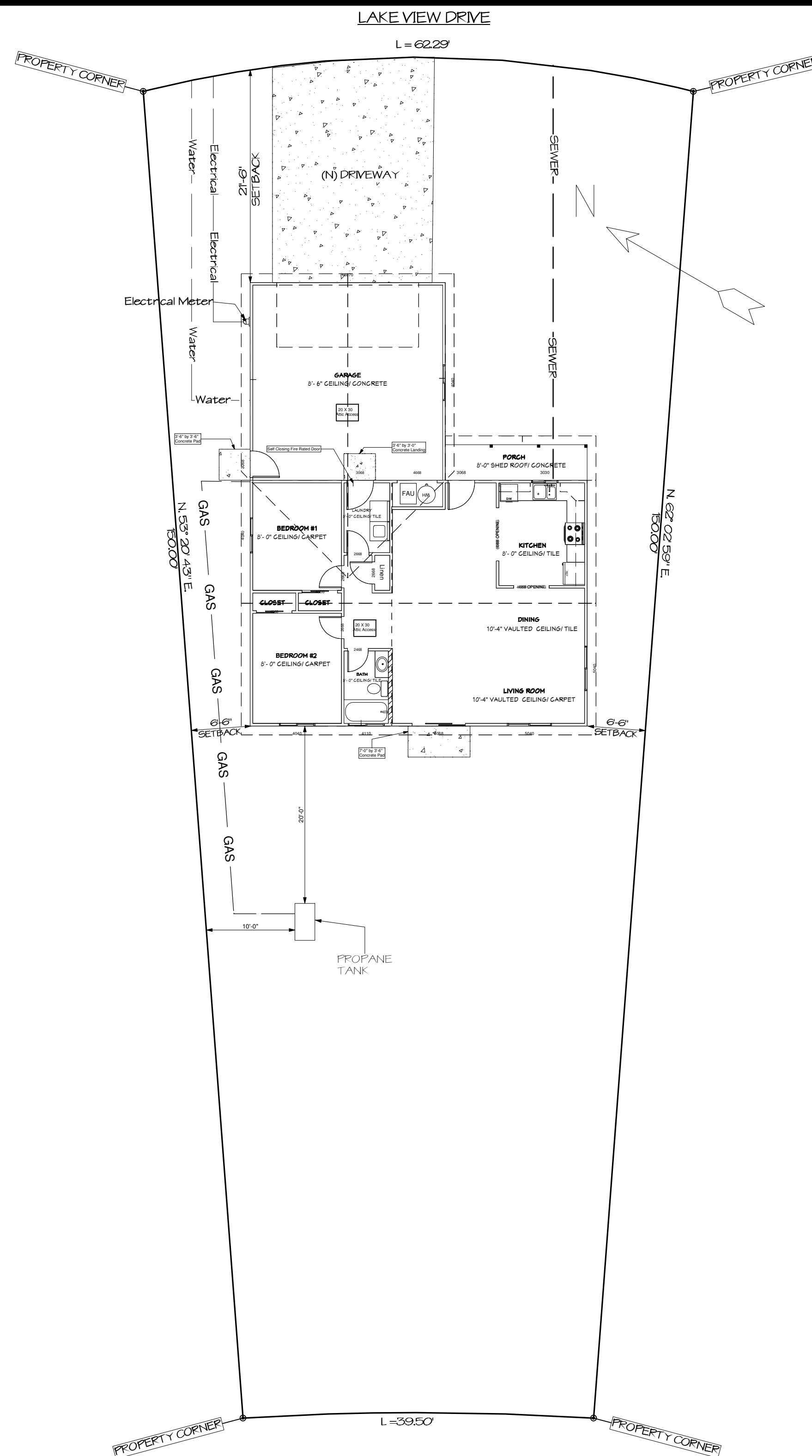
Porches and garage areas not included in living area

All penetrations of building envelope shall be sealed with chalk or foam.

Wall Insulation to be R-13 (see Title 24 Reports) Sheet T-1 & T-2

Floor Insulation to be N/A (see Title 24 Reports) Sheet T1 & T-2

Ceiling Insulation to be R-38 (see Title 24 Reports) Sheet T1 & T-2



### SITE PLAN & PROJECT INFO

SCALE: 1" = 10'-0"

### ATTIC/CRAWL SPACE ACCESS

A minimum of 22" x 30", there shall be 30" min. clearance at or above the opening.

Provided in garage and hallway

### VENTILATION

Attic shall have ventilation equal to 1 sq. foot per 150 sq. feet of attic space. Ventilation shall be protected from snow and rain and shall be covered with galvanized wire screen. Openings shall be located to provide cross ventilation.

Under floor spaces shall have ventilation equal to one sq. foot per 150 sq. feet of floor space. Vents shall be with galvanized wire screen. Vents shall be located to provide cross ventilation.

### PROJECT DATA

OWNER: Tom Krauss

OWNER PHONE: Home: 510-410-2129, Cell: 510-410-2129

PROJECT ADDRESS: Unit 1B, Lot 3, Lake View Drive, County of Modoc, CA

APN: 039-342-0311

ZONING: R1 RESIDENTIAL

FIRE DISTRICT: LOCAL

WATER: PUBLIC: PUBLIC

SEWER: PUBLIC SEWER: PUBLIC

### BUILDING AREAS

NEW DWELLING LIVING AREA	1,055 sq ft
NEW DWELLING GARAGE AREA	490 sq ft
NEW DWELLING PORCH AREA	64 sq ft
TOTAL NEW FOOT PRINT AREA	1,609 sq ft
LOT AREA	7,632 sq ft
LOT COVERAGE	21%

### THIS PROJECT SHALL COMPLY WITH THE FOLLOWING

2013 CALIF	BUILDING CODE
2013 CALIF	MECHANICAL CODE
2013 CALIF	PLUMBING CODE
2013 CALIF	ELECTRICAL CODE
2013 CALIF	CALIFORNIA ENERGY CODE

### SCOPE OF WORK

Construct a new 1,055 sq ft 2 Bedroom 1 Bathroom home, with an attached 490 sq ft 2 car garage and a 64 sq ft covered porch.

### PROJECT TEAM

DESIGNER	Tom Krauss Po Box 55345 Hayward, Ca 94545 510-410-2129
STRUCTURAL	N/A
ENERGY	Chris A. Bauman Baumann Energy Calc Co 4840 Discovery Point Discovery Bay, CA 94505 510 745-1545

### LEGEND

(X)	DETAIL NUMBER
(X)	SHEET
(X)	SHEARNALL TYPE
(X)	SHEARNALL LENGTH
(N)	NEW CONDITION
(E)	EXISTING CONDITION

### SHEET INDEX

A-1	SITE PLAN & PROJECT INFO
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P-1	FIRE SPRINKLER DESIGN

### REVISIONS

No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**

LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
UNIT 1B LOT 3

PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

### INFORMATION

OWNER NAME	Tom Krauss
OWNER MAILING ADDR:	Po Box 55345 Hayward, Ca 94545
OWNER PH.	Home: 510-410-2129 Cell:
SITE ADDRESS	LAKE VIEW DR COUNTY OF MODOC, CA UNIT 1B LOT 3
SITE APN	039-342-0311

DATE	8-24-2015
DRAWN BY	T Mark Sweeney DBA Shear Force Drafting
SCALE	1"= 10'-0"
JOB NO.	1503

### SITE PLAN & PROJECT INFO

PAGE	A-1
SHEET	1 OF 12

**REVISIONS**

No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**

LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
UNIT 1B LOT 3

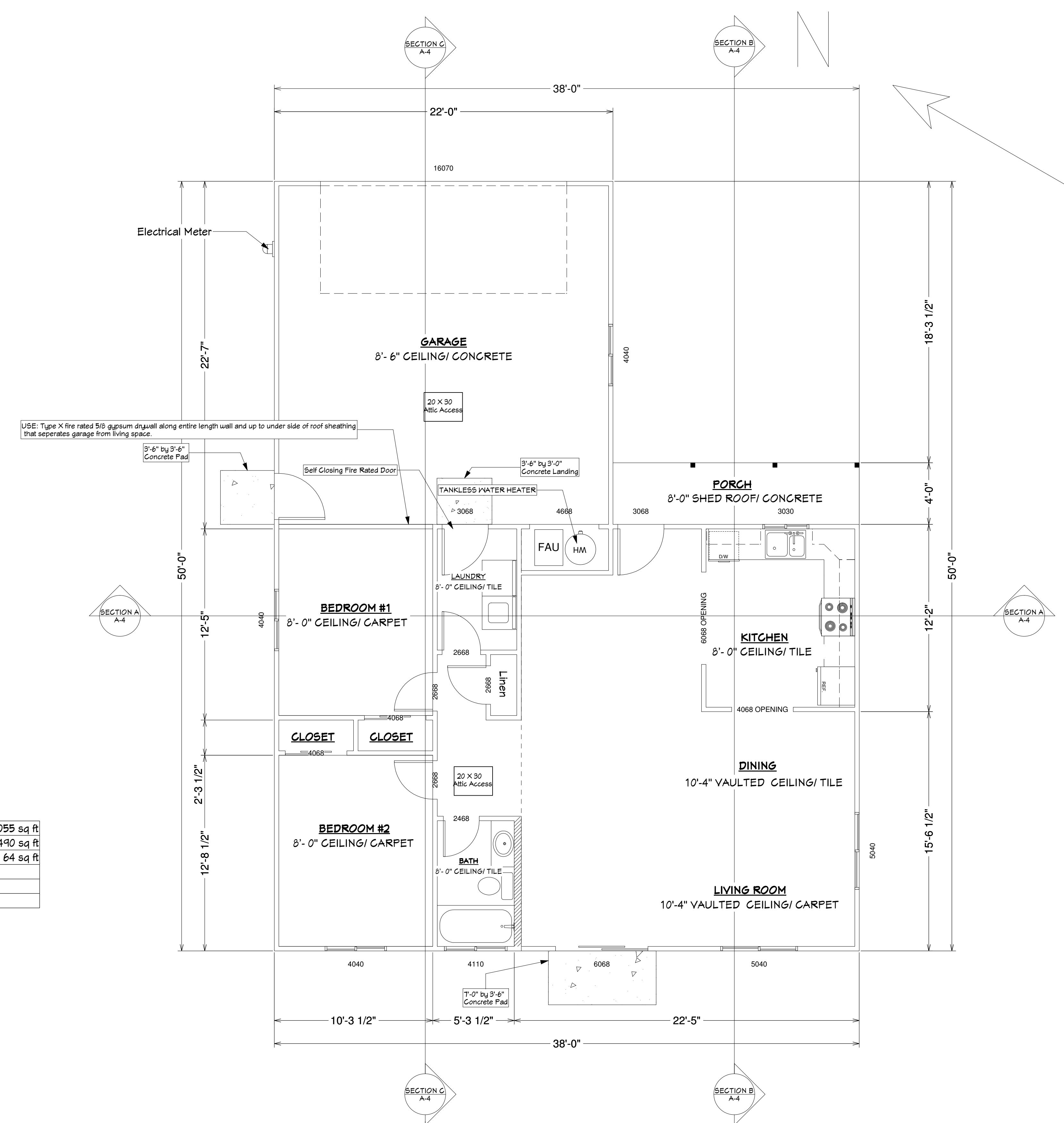
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SITE APN	039-342-0311
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SCALE	1/4" = 1'-0"
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**FLOOR PLAN**

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SHEET	2 OF 12

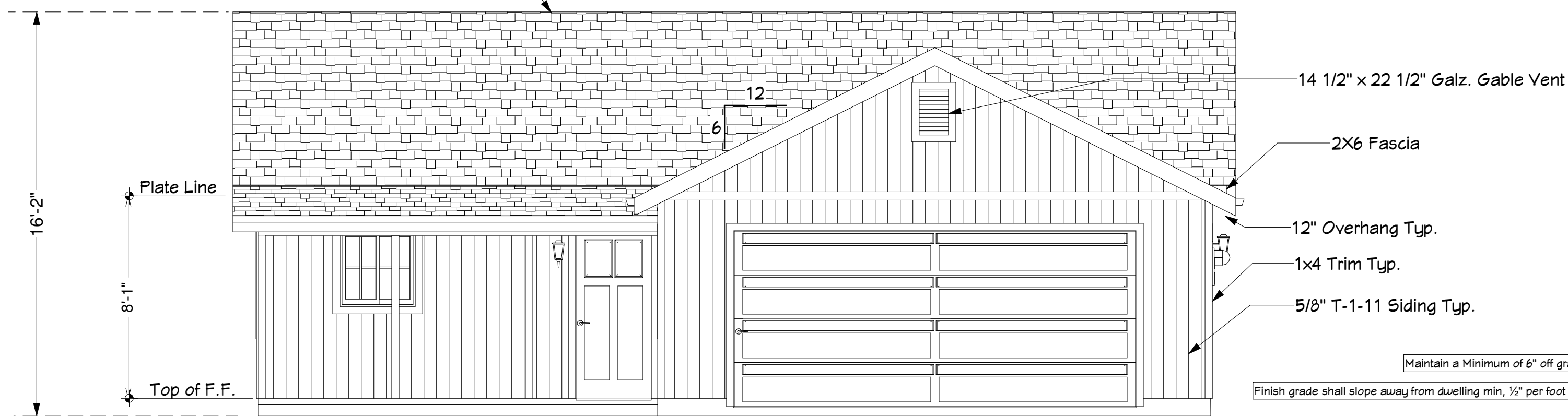


**WALL LEGEND**

2 x 4 WALLS	[Symbol]
2 x 6 WALLS	[Symbol]
LIVING AREA	1,055 sq ft
GARAGE	490 sq ft
COVERED PORCH	64 sq ft

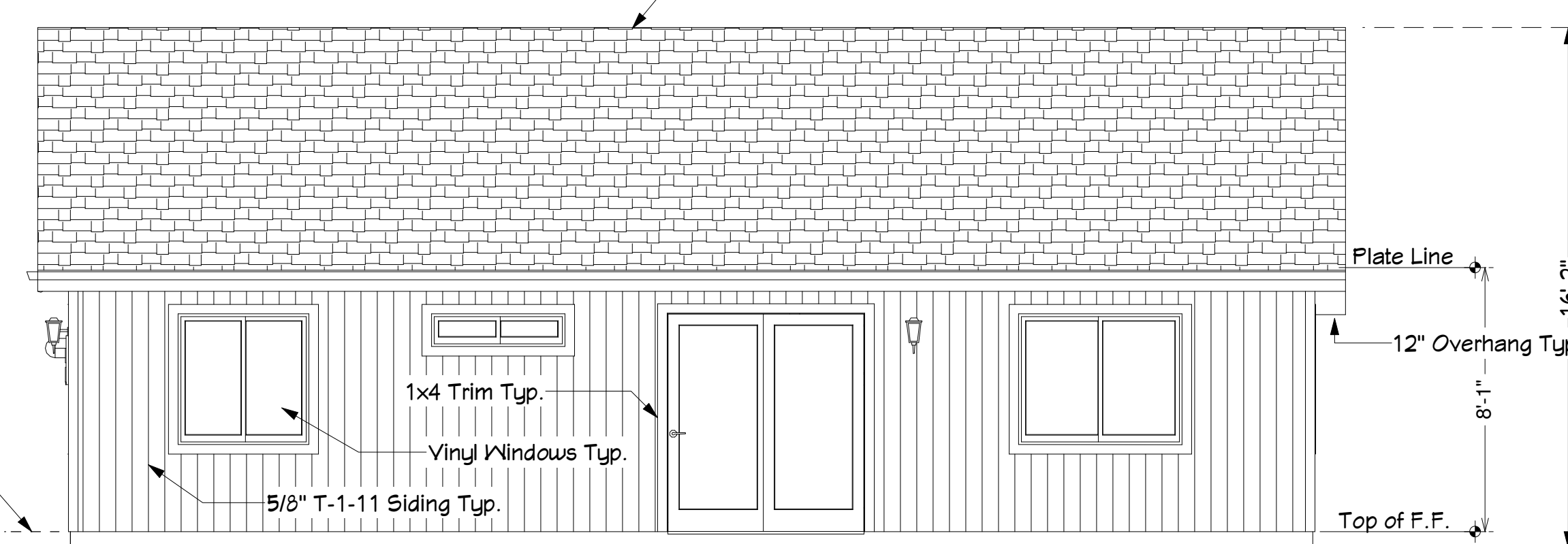
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

30 Year Architectural Asphalt Composition Shingles  
(Class A Type Fire-Rated Roofing)



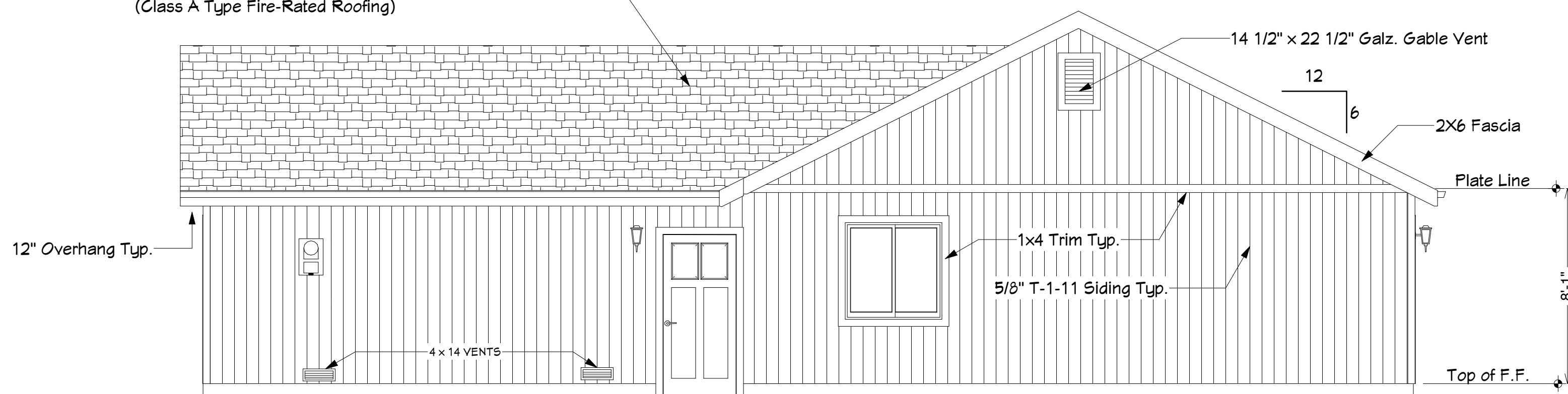
**NORTH ELEVATION**

30 Year Architectural Asphalt Composition Shingles  
(Class A Type Fire-Rated Roofing)

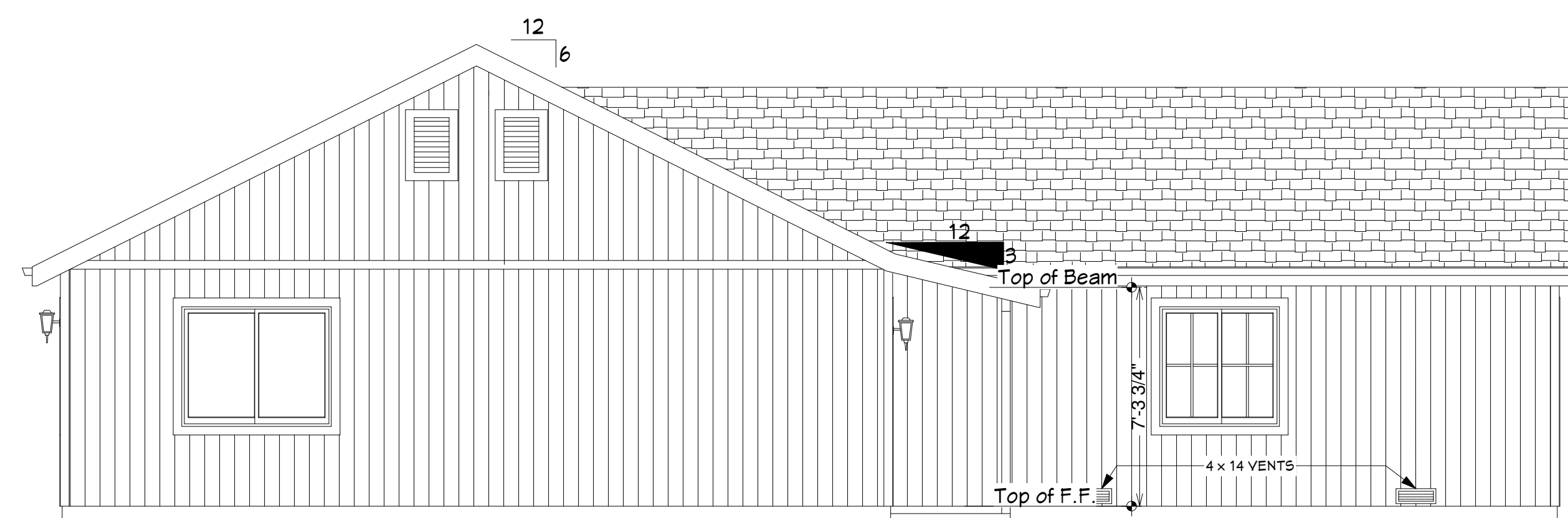


**SOUTH ELEVATION**

30 Year Architectural Asphalt Composition Shingles  
(Class A Type Fire-Rated Roofing)



**WEST ELEVATION**



**EAST ELEVATION**

**REVISIONS**

No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**

LAKE VIEW DRIVE, COUNTY OF MODOC, CA.

UNIT 1B LOT 3

PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

**INFORMATION**

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**EXTERIOR ELEVATIONS**

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SHEET	3 OF 12

**EXTERIOR FINISH NOTES**

Exterior siding to be 5/8" T-1-11 with 1x4 spruce or pack prime trim @ corners, windows and doors.  
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Downspouts to be collected and roof run off to be directed away from dwelling.  
Finish grade shall slope away from dwelling min. 1/2" per foot of run for 4' min.

**EXTERIOR ELEVATIONS**

Scale: 1/4" = 1'-0"



# ELECTRICAL NOTES:

GENERAL ELECTRICAL: PER CURRENT ELECTRICAL CODES AND AS NOTED IN PLAN.

ELECTRICAL BOXES TO SUPPORT FANS AND LARGE FIXTURES SHALL BE APPROVED FOR SUPPORTING SUCHLOADS.

COVERED JUNCTION BOXES SHALL BE PROVIDED UNDER KITCHEN SINKS TO PROVIDE POWER FOR DISHWASHERS, GARBAGE DISPOSERS AND OTHER APPLIANCES AS REQUIRED.

SMOKE DETECTORS:

SMOKE DETECTORS SHALL BE POWERED FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP.

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING AREA, AT POINTS CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.

SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM WHEN THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BETROOM EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE.

SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING IN WHICH THEY ARE LOCATED.

LIGHTING:

THE PRIMARY LIGHTING FOR KITCHENS AND BATHROOMS SHALL HAVE A MIN EFFICIENCY OF 40 LUMENS PER WATT.

AN EXTERIOR LIGHT SHALL BE PROVIDED FOR EACH EXIT.

A SWITCH FOR AN INTERIOR LIGHT SHALL BE PROVIDED AT EVERY ENTRANCE.

INCANDESCENT LIGHTS SHALL NOT BE PLACED CLOSER THAN 12" FROM THE NEAREST POINT OF A STORAGE AREA ON A SHELF.

INCANDESCENT LIGHT FIXTURES LOCATED IN CLOSETS SHALL BE SHIELDED.

LIGHTING WILL BE PROVIDED FOR MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR UNDER FLOOR SPACE.

A LIGHT SWITCH SHALL BE PROVIDED AT THE ACCESS OPENING.

ELECTRICAL OUTLETS:

ELECTRIC OUTLETS IN BATHROOMS TO BE ON A DEDICATED CIRCUIT WITHIN THREE FEET OF SINKS, IN GARAGES, BASEMENTS AND OUTDOORS SHALL BE GFI PROTECTED.

EXTERIOR OUTLETS SHALL HAVE WEATHER PROOF COVERS.

EXTERIOR ELECTRICAL OUTLETS SHALL BE PROVIDED AT THE FRONT AND BACK OF THE BUILDING.

ELECTRICAL OUTLETS SHALL BE PLACED NOT FURTHER THAN 12" O.C. ON EVERY WALL AND SHALL BE PLACED ON WALLS GREATER THAN 2' IN LENGTH.

COUNTERTOPS 12" AND WIDER SHALL HAVE ELECTRICAL OUTLETS SPACED NOT GREATER THAN 48" O.C.

HALLWAYS 10' OR GREATER IN LENGTH SHALL HAVE AT LEAST ONE ELECTRICAL OUTLET.

MECHANICAL EQUIPMENT SHALL HAVE AN ELECTRICAL OUTLET LOCATED WITHIN 25'.

AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACES WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.

PROVIDE TWO OR MORE DEDICATED 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREA.

AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULA COUNTER WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.

EACH BEDROOM TO BE ON ITS OWN ARC FAULT CIRCUIT FOR ALL RECEPTACLES & LIGHTING

SYMBOL	DESCRIPTION
	METER SOCKET
	PANEL BOX
	CEILING FAN W/ LIGHT
	FLUORESCENT LIGHT FIXTURE
	110V CEILING LIGHT FIXTURE
	110V RECESSED LIGHT FIXTURE
	110V EAVE LIGHT FIXTURE
	110V CHANDELIER LIGHT FIXTURE
	110V WALL LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH

SYMBOL	DESCRIPTION
	OUTDOOR SWITCH
	110V DUPLEX RECEPTACLE
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER
	110V FLOOR MOUNTED DUPLEX RECEPTACLE
	240V RECEPTACLE
	TELEPHONE JACKS
	TELEVISION JACKS
	DOOR BELL PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	EXHAUST FAN
	DOOR CHIME
	FIRE ALARM PANEL
	COMPUTER POINT
	RECESSED FLOURESCENT
	CARBON MONOXIDE DETECTOR

WALL LEGEND	
2 x 4 WALLS	
2 x 6 WALLS	

LIVING AREA	1,055 sq ft
GARAGE	490 sq ft
COVERED PORCH	64 sq ft

# MECHANICAL NOTES:

**Furnace Specs:**

Make: N/A none specified

Model: N/A none specified

Efficiency Rating: minimum of 0.90 AFUE

**Air Conditioning Unit Specs:**

Make: N/A none specified

Model: N/A none specified

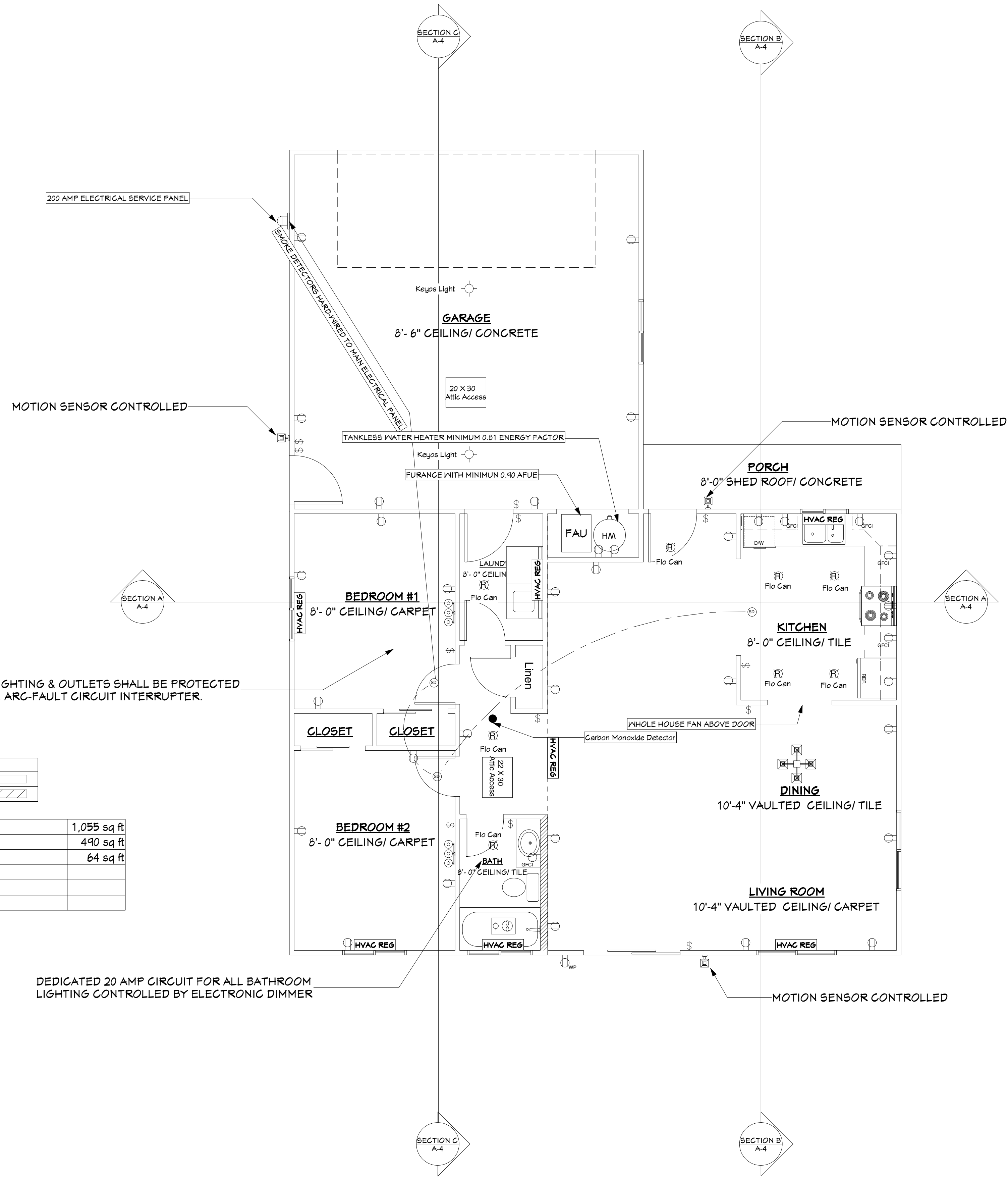
Efficiency Rating: N/A

**Tankless Water Heate Specs:**

Make: none specified

Model: N/A none specified

Efficiency Rating: minimum 0.81 Energy Factor



ALL LIGHTING & OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

DEDICATED 20 AMP CIRCUIT FOR ALL BATHROOM LIGHTING CONTROLLED BY ELECTRONIC DIMMER

# ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

REVISIONS		
No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**  
 LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
 UNIT 1B LOT 3

PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

INFORMATION	
OWNER NAME	Tom Krauss
OWNER MAILING ADDR:	Po Box 55345 Hayward, Ca 94545
OWNER PH.	Home: 510-410-2729 Cell:
SITE ADDRESS	LAKE VIEW DR COUNTY OF MODOC, CA UNIT 1B LOT 3
SITE APN	039-342-0311
DATE	8-29-2015
DRAWN BY	Mark Sweeney DBA Shear Force Drafting
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ELECTRICAL PLAN	
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## REVISIONS

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LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
UNIT 1B LOT 3

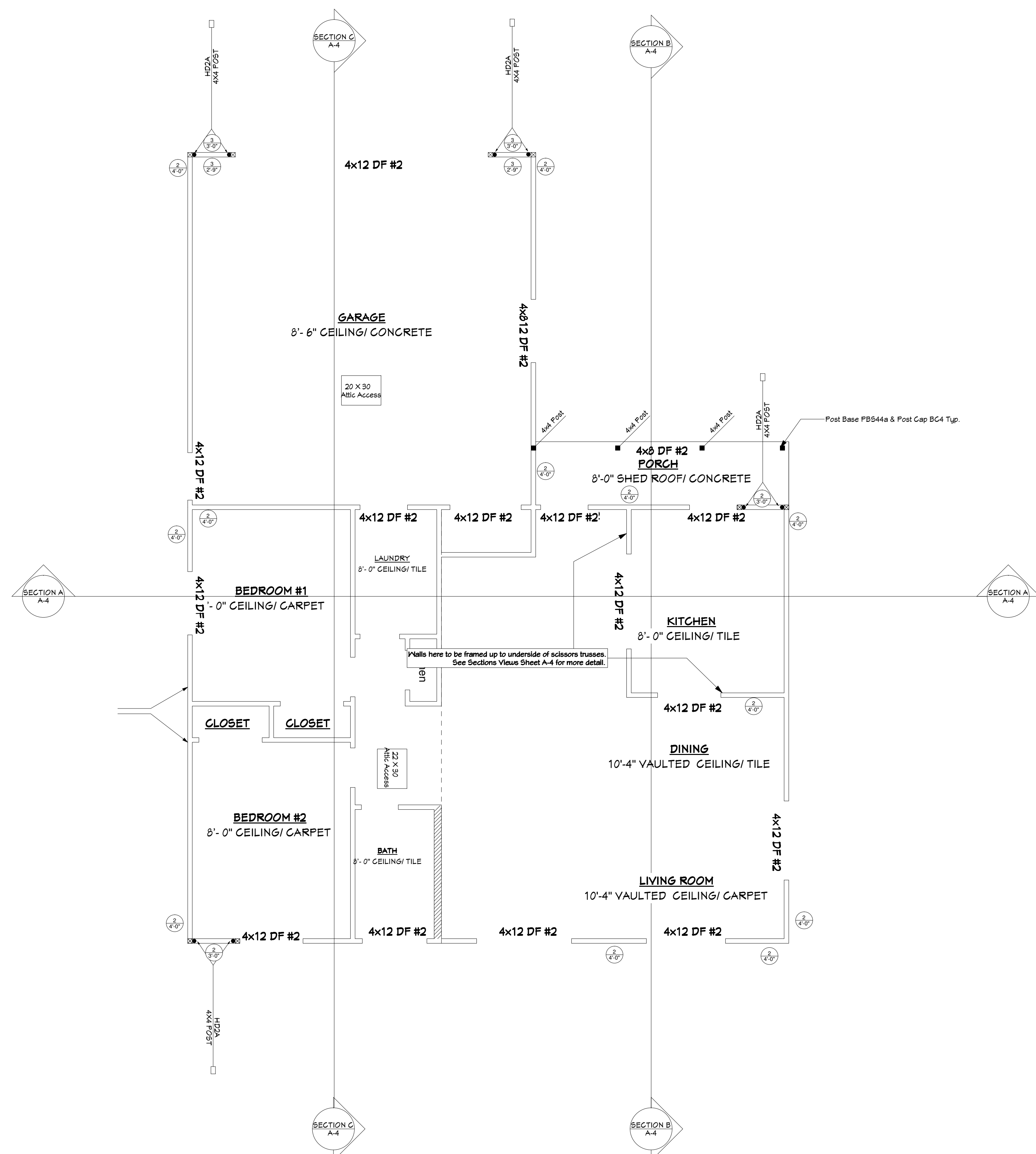
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## INFORMATION

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## FRAMING PLAN

PAGE	5-2
SHEET	7 OF 12



## FRAMING PLAN NOTES:

1. Shearwalls to be continuous from foundation to roof diaphragm.
2. Shear all gable ends with 3/8" CDX or equivalent with 2d at 6" edges, 12" field.
3. Provide shear wall edge nailing to all posts which have hold downs
4. Provide 4x4 or 4x6 at all hold downs per plan
5. 2 x4 studs @ 16" O.C per plan.
6. All lumber in contact with concrete will be DF pressure treated
7. All plates shall have double top plates and be spliced a minimum of 48" for continuity
8. Comply with chapter 23 for conventional framing
9. Double joist under walls that run parallel to joist

WALL LEGEND	
2 x 4 WALLS	[Symbol]
2 x 6 WALLS	[Symbol]

LIVING AREA	1,055 sq ft
GARAGE	490 sq ft
COVERED PORCH	64 sq ft

## SHEAR WALL SCHEDULE

SHEAR WALL MARKER	SHEAR WALL MATERIAL	PLATE, MUDSILL & ALL OTHER EDGES	IN THE FIELD	PLATE SIZE	SOLE PLATE CONNECTION TO CONCRETE	SOLE PLATE CONNECTION TO WOOD FLOOR
1 X	5/8" T-1-11, 3/8" CDX OR O.S.B ONE SIDE	2d @ 6" O.C.	2d @ 12" O.C.	2x	5/8" x 10" ANCHOR BOLTS W/ 3/16 x 3" SQUARE PLATE WASHERS	16D @ 6" O.C
2 X	5/8" T-1-11, 3/8" CDX OR O.S.B ONE SIDE	2d @ 4" O.C.	2d @ 12" O.C.	2x	5/8" x 10" ANCHOR BOLTS W/ 3/16 x 3" SQUARE PLATE WASHERS	16D @ 6" O.C
3 X	5/8" T-1-11, 3/8" CDX OR O.S.B BOTH SIDES	2d @ 4" O.C.	2d @ 12" O.C.	2x	5/8" x 10" ANCHOR BOLTS W/ 3/16 x 3" SQUARE PLATE WASHERS	16D @ 6" O.C

1, 2 OR 3 = SHEAR WALL SCHEDULE  
= MINIMUM LENGTH OF SHEAR WALL

## FRAMING PLAN

SCALE: 1/4" = 1'-0"

# REVISIONS

No.	DESCRIPTION	DATE

# KRAUSS RESIDENCE

LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
UNIT 1B LOT 3

PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

# INFORMATION

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# ROOF FRAMING PLAN

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## ROOF FRAMING PLAN NOTES:

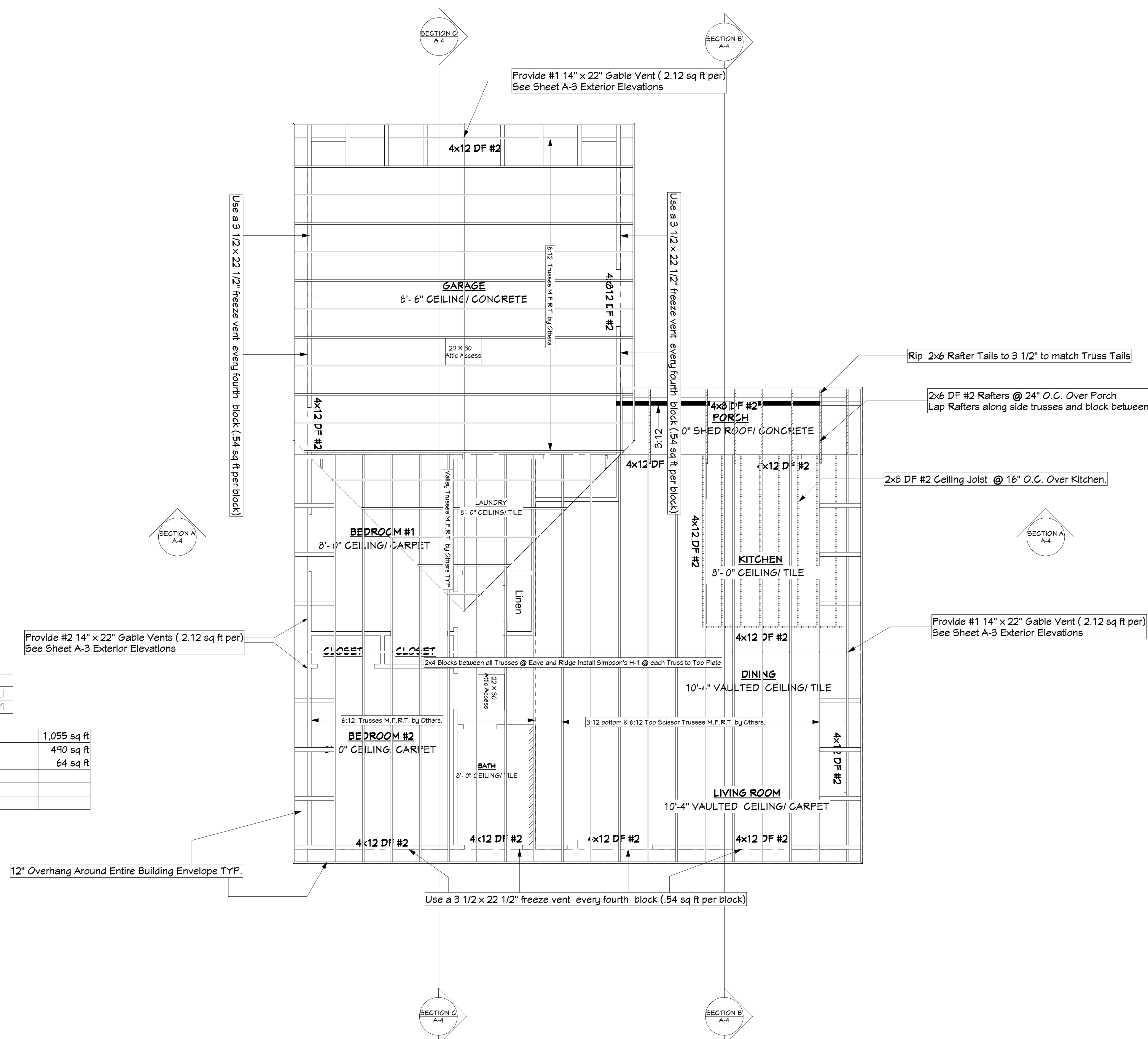
- Use Simpson Brand H-1 clips for truss to top plate connections, use H2.5 clips for rafter to top plate connection. None bearing walls should be held down from the truss bottom chord w/ Simpson STC to insure that the truss bottom chord will not bear on the wall.
- All trusses shall carry manufacturers stamp.
- All trusses shall be installed & braced to manufacturers specifications.
- All trusses will not be field altered without prior building department approval of engineering calculations.
- All trusses shall have design details & drawings on site for framing inspection.
- Trusses shall be designed to support furnace and furnace platforms. Catwalks to be elevated to provide clearance for insulation.
- All roof framing 24" o.c.
- Brace gable end trusses to ridge.
- Roof Sheathing to be 1/2" OSB or CDX ply with 8d's @ 6" o.c. edge and 12" field.
- Use double studs minimum under all beams/headers 6 feet or longer & multi-ply truss bearing locations unless noted otherwise.
- Shear all gable ends with 3/8" OSB or equivalent and 8d at 6" edges, 12" field.
- All top plates to have 48" min. lap @ splices with (16) 16d nails staggered per connection.
- All beams to have positive connections (i.e. Simpson caps) to posts.
- Installation of roofing shall be in accordance with manufacturer's specifications.
- All posts to be carried down to foundation.
- Provide 1" min. air gap at eaves with insulation baffles typ. at all truss bays.
- Provide gable vents as shown on elevations.

## Attic Ventilation Needs:

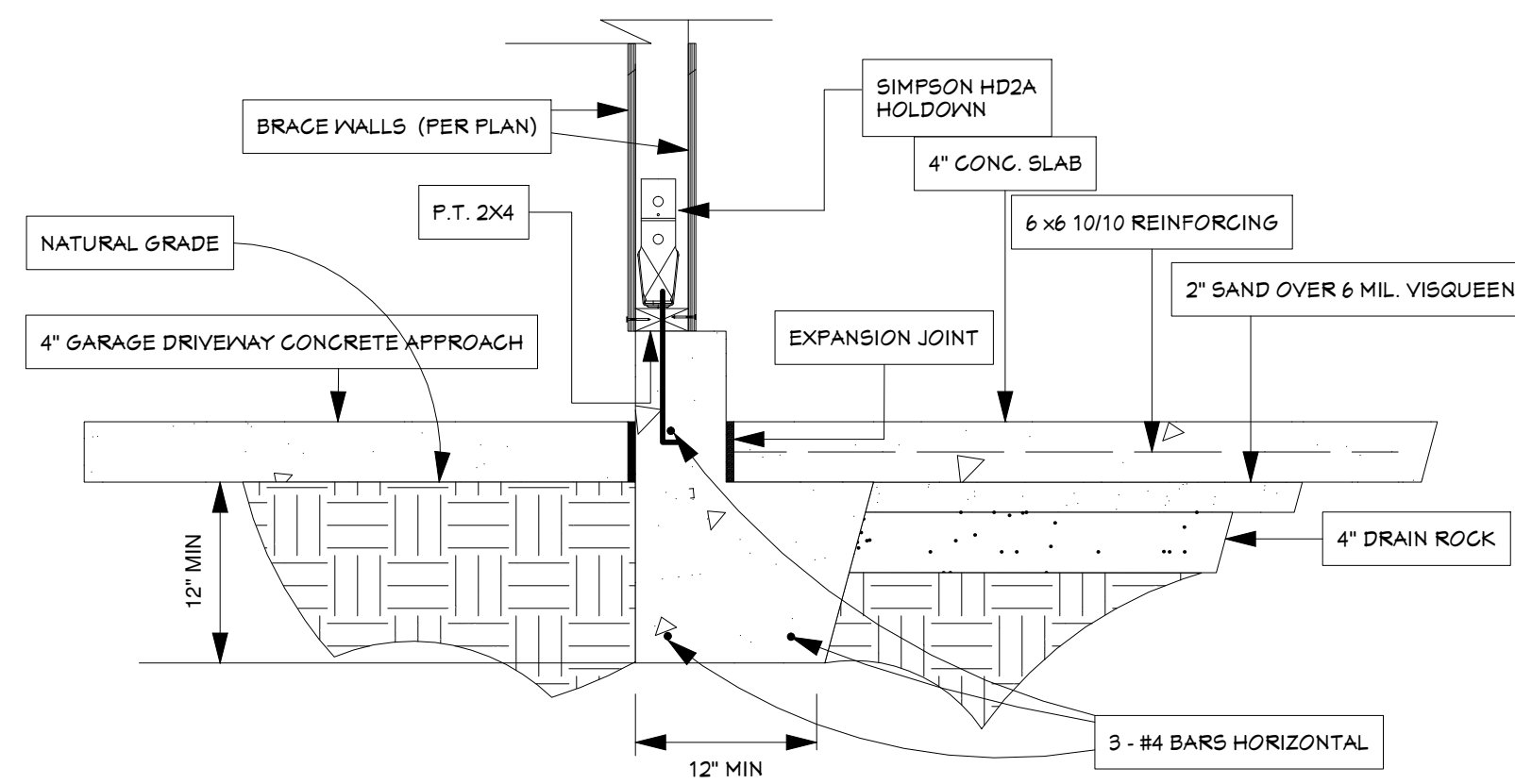
Net Free Area Above Living Area = 1,055 sq ft  
 1,05 sq ft/150 sq ft = 7.03 sq ft of Ventilation Required above living area  
 Provide #3 14" x 22" Gable End Vents @ 2.13 sq ft per unit = 6.39 sq ft  
 Provide #4 3 1/2" x 22 1/2" freeze vents @ 0.54 sq ft per between trusses = 2.16 sq ft  
 Total Ventilation above living area to be 8.55 sq ft

Net Free Area Above Garage = 409 sq ft  
 409 sq ft/150 sq ft = 2.72 sq ft of Ventilation Required above garage  
 Provide #1 14" x 22" Gable End Vent @ 2.13 sq ft per unit = 2.13 sq ft  
 Provide #4 3 1/2" x 22 1/2" freeze vents @ 0.54 sq ft per between trusses = 2.16 sq ft  
 Total Ventilation Above Garage to be = 4.29 sq ft

WALL LEGEND	
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2 x 6 WALLS	[Symbol]
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GARAGE	490 sq ft
COVERED PORCH	64 sq ft

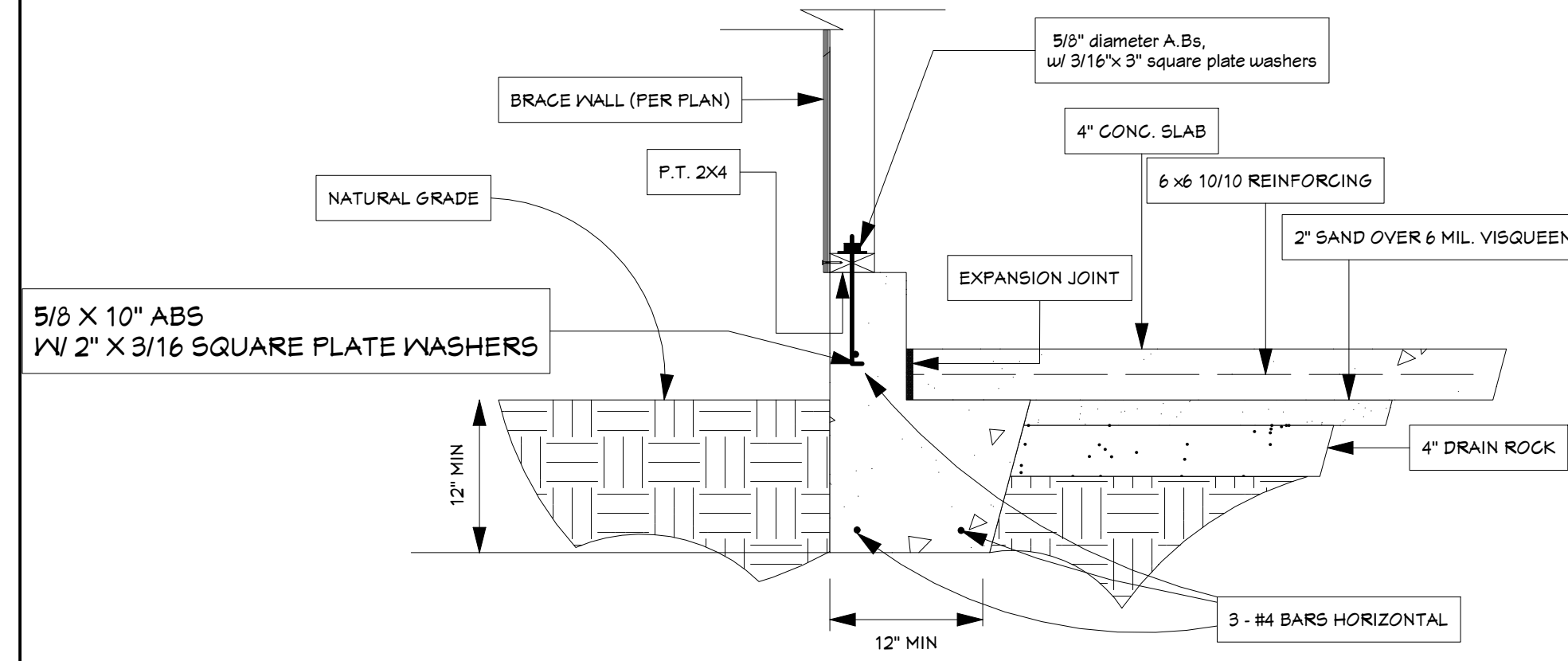


**ROOF FRAMING PLAN**  
Scale: 1/4" = 1'-0"



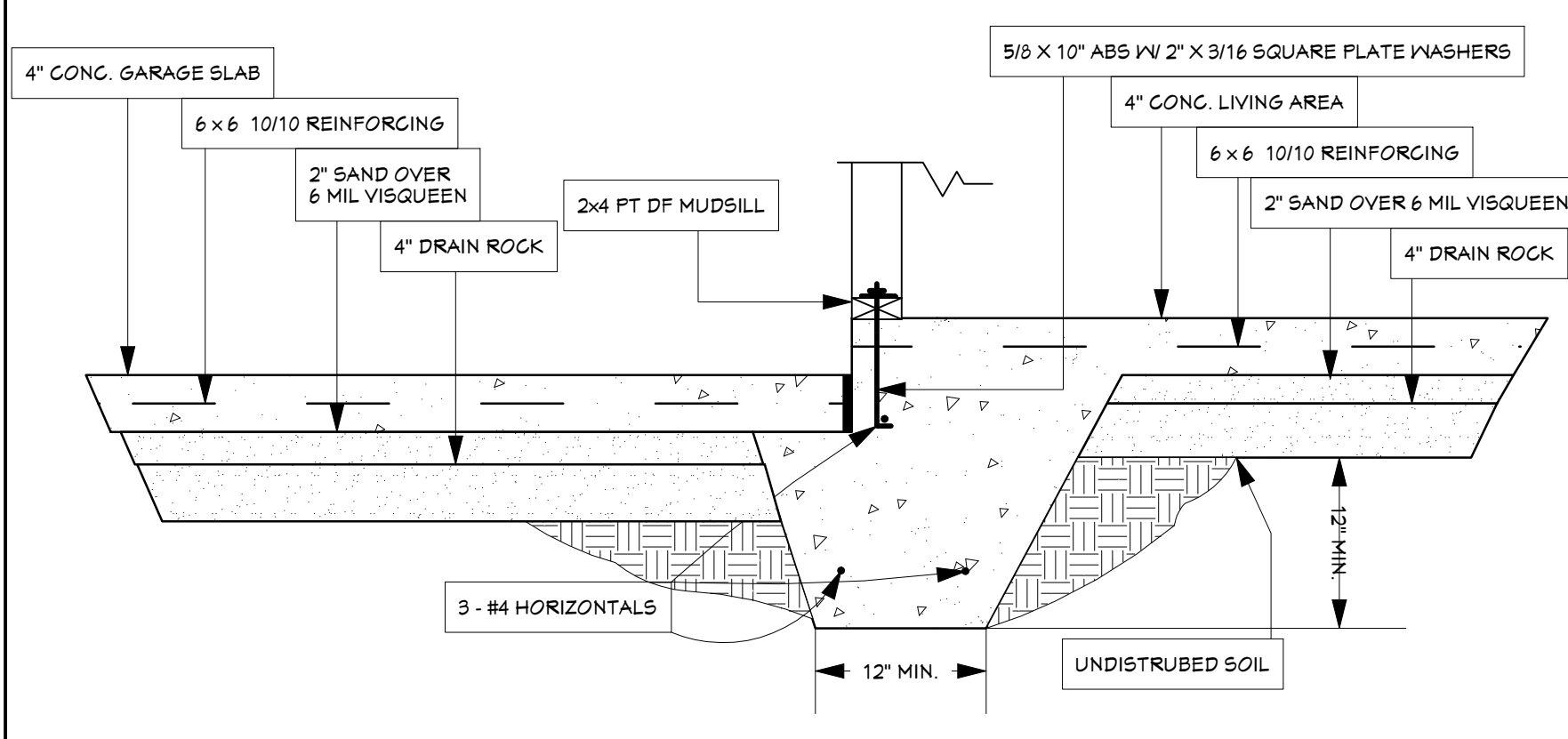
**Detail 1** APPROACH EDGE OF GARAGE FLOOR SLAB

**SD-1**  
NOTE: POUR FOOTING ON UNDISTURBED SOIL  
SCALE: 1" = 1'-0"



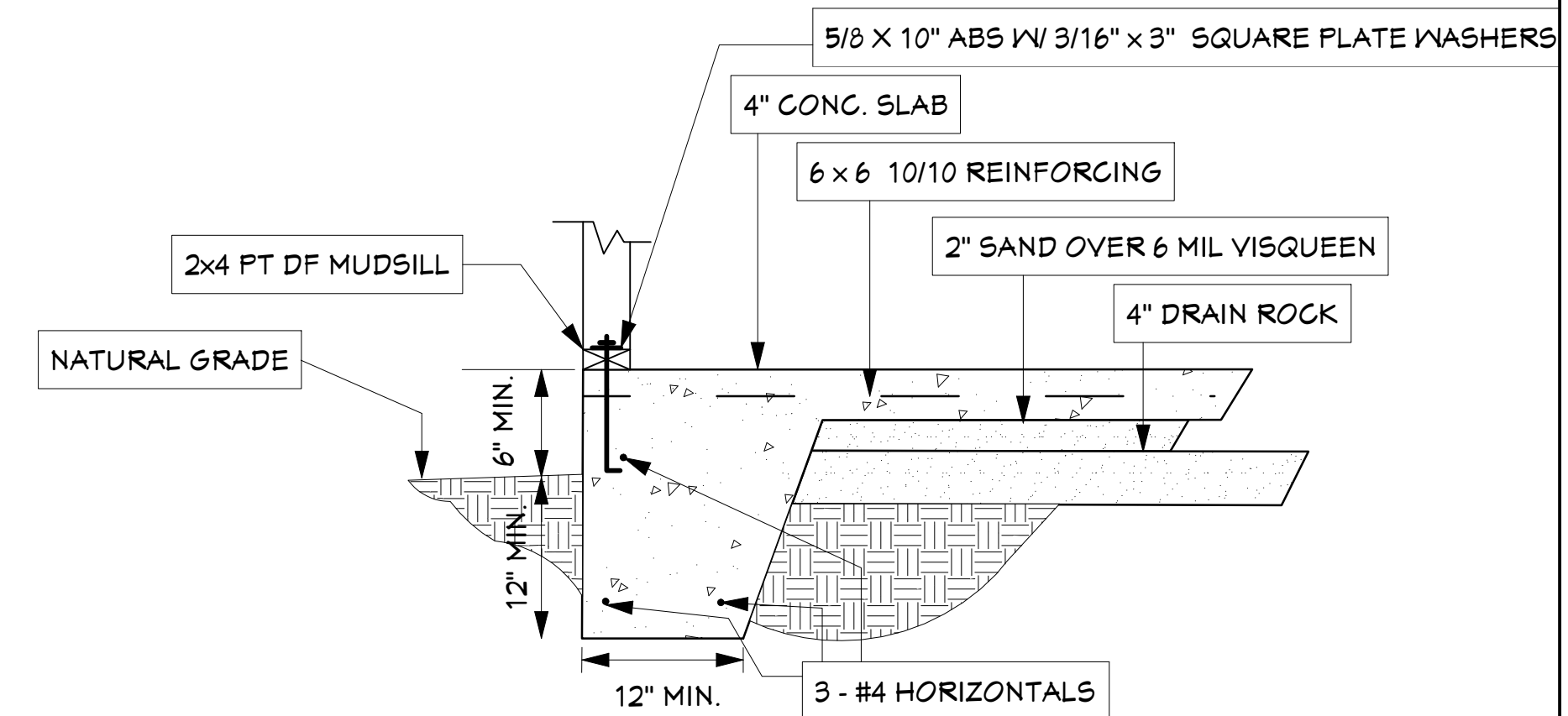
**Detail 2** ONE-STORY GARAGE STEM WALL CURB & FOOTING

**SD-1**  
NOTE: POUR FOOTING ON UNDISTURBED SOIL  
SCALE: 1" = 1'-0"



**Detail 3** EDGE OF LIVING AREA SLAB @ GARAGE

**SD-3**  
NOTE: POUR FOOTING ON UNDISTURBED SOIL  
SCALE: 1" = 1'-0"



**Detail 4** ONE-STORY EDGE OF SLAB

**SD-1**  
NOTE: POUR FOOTING ON UNDISTURBED SOIL  
SCALE: 1" = 1'-0"

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DETAILS	
PAGE	SD-1
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Krauss Residential Project  
 Calculation Description: Title 24 Analysis

Calculation Date/Time: 13:23, Mon, Aug 24, 2015  
 Input File Name: JB3132 Propane.xml

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GENERAL INFORMATION							
01	Project Name	Krauss Residential Project					
02	Calculation Description	Title 24 Analysis					
03	Project Location	Unit 1B, Lot 3, Lake View Drive					
04	City	05	Standards Version	Compliance 2015			
06	Zip Code	07	Compliance Manager Version	BEMCompMgr 2013-4 (744)			
08	Climate Zone	09	Software Version	EnergyPro 6.6			
10	Building Type	11	Front Orientation (deg/Cardinal)	60			
12	Project Scope	13	Number of Dwelling Units	1			
14	Total Cond. Floor Area (ft <sup>2</sup> )	15	Number of Zones	1			
16	Slab Area (ft <sup>2</sup> )	17	Number of Stories	1			
18	Addition Cond. Floor Area	19	Natural Gas Available	No			
20	Addition Slab Area (ft <sup>2</sup> )	21	Glazing Percentage (%)	12.1%			

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (kTDV/ft <sup>2</sup> -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	107.77	115.94	-8.17	-7.6%
Space Cooling	6.03	8.72	-2.69	-44.6%
IAQ Ventilation	1.40	1.40	0.00	0.0%
Water Heating	60.60	39.82	20.78	34.3%
Photovoltaic Offset	---	0.00	0.00	---
Compliance Energy Total	175.80	165.88	9.92	5.6%

Registration Number: 215-N6301442A-00000000-0000  
 CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time: 2015-08-24 14:25:22  
 Report Version - CF1R-08062015-744

HERS Provider: CalCERTS, Inc.  
 Report Generated at: 2015-08-24 13:23:21

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Krauss Residential Project  
 Calculation Description: Title 24 Analysis

Calculation Date/Time: 13:23, Mon, Aug 24, 2015  
 Input File Name: JB3132 Propane.xml

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REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
<b>NO SPECIAL FEATURES REQUIRED</b>

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.
<b>Building-level Verifications:</b>
- IAQ mechanical ventilation
<b>Cooling System Verifications:</b>
- None
<b>HVAC Distribution System Verifications:</b>
- Duct Sealing
<b>Domestic Hot Water System Verifications:</b>
- None

ENERGY DESIGN RATING				
This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.				
Total Energy (kTDV/ft <sup>2</sup> -yr)*	Reference Energy Use	Energy Design Rating	Margin	Percent Improvement
	251.62	241.70	9.92	3.9%

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Krauss Residential Project	1054	1	2	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Residential Unit	Conditioned	HVAC System1	1054	8	DHW Sys 1	

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REVISIONS		
No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**  
 LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
 UNIT 1B LOT 3  
 PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Krauss Residential Project  
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OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window & Door Area (ft <sup>2</sup> )	Tilt (deg)
Front Wall	Residential Unit	R-13 Wall	60	Front	128	29	90
Left Wall	Residential Unit	R-13 Wall	150	Left	220	20	90
Rear Wall	Residential Unit	R-13 Wall	240	Back	304	80	90
Right Wall	Residential Unit	R-13 Wall	330	Right	220	16	90
Roof	Residential Unit	R-38 Roof Attic			1054		

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic Residential Unit	Attic Roof/Residential Unit	Ventilated	4	0.1	0.85	No	No

WINDOWS									
01	02	03	04	05	06	07	08	09	10
Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Multiplier	Area (ft <sup>2</sup> )	U-factor	SHGC	Exterior Shading
Window	Window	Front Wall (Front-60)	---	---	1	9.0	0.30	0.25	Insect Screen (default)
Door Window	Window	Front Wall (Front-60)	---	---	1	3.0	0.71	0.60	Insect Screen (default)
Window 2	Window	Left Wall (Left-150)	---	---	1	20.0	0.30	0.25	Insect Screen (default)
Window 3	Window	Rear Wall (Back-240)	---	---	1	40.0	0.30	0.25	Insect Screen (default)
Patio Door	Window	Rear Wall (Back-240)	---	---	1	40.0	0.30	0.25	Insect Screen (default)
Window 4	Window	Right Wall (Right-330)	---	---	1	16.0	0.30	0.25	Insect Screen (default)

DOORS			
01	02	03	04
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor
Door	Front Wall	17.0	0.50

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
Attic Roof/Residential Unit	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	<ul style="list-style-type: none"> <li>Cavity / Frame: no insul. / 2x4 Top Chrd</li> <li>Roof Deck: Wood Siding/sheathing/decking</li> <li>Roofing: Light Roof (Asphalt Shingle)</li> </ul>
R-13 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.095	<ul style="list-style-type: none"> <li>Inside Finish: Gypsum Board</li> <li>Cavity / Frame: R-13 / 2x4</li> <li>Exterior Finish: Wood Siding/sheathing/decking</li> </ul>
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 38	0.025	<ul style="list-style-type: none"> <li>Inside Finish: Gypsum Board</li> <li>Cavity / Frame: R-3.1 / 2x4</li> <li>Over Floor Joists: R-28.9 insul.</li> </ul>

SLAB FLOORS						
01	02	03	04	05	06	07
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value & Depth	Carpeted Fraction	Heated
Slab-on-Grade	Residential Unit	1054	131	None	0.8	No

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	ACH @ 50 Pa
Not Required	Not Required	Not Required	---

WATER HEATING SYSTEMS					
01	02	03	04	05	06
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)
DHW Sys 1 - 1/1	DHW	Standard	DHW Heater 1	1	.0%

WATER HEATERS						
01	02	03	04	05	06	07
Name	Heater Element Type	Tank Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value
DHW Heater 1	Propane	Small Instantaneous	0.2	0.81	118600-Btu/hr	0

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INFORMATION	
OWNER NAME	Tom Krauss
OWNER MAILING ADDR.	Po Box 55345 Hayward, Ca 94545
OWNER PH.	Home: 510-410-2129 Cell:
SITE ADDRESS	LAKE VIEW DR COUNTY OF MODOC, CA UNIT 1B LOT 3
SITE APN	039-342-0311
DATE	8-24-2015
DRAWN BY	Mark Sweeney DBA Shear Force Drafting
SCALE	1/4" = 1'-0"
JOB NO.	1503

TITLE 24 REPORTS	
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**REVISIONS**

No.	DESCRIPTION	DATE

**KRAUSS RESIDENCE**

LAKE VIEW DRIVE, COUNTY OF MODOC, CA.  
UNIT 1B LOT 3

PROPOSED NEW 2 BEDROOM, 1 BATHROOM RESIDENCE

**INFORMATION**

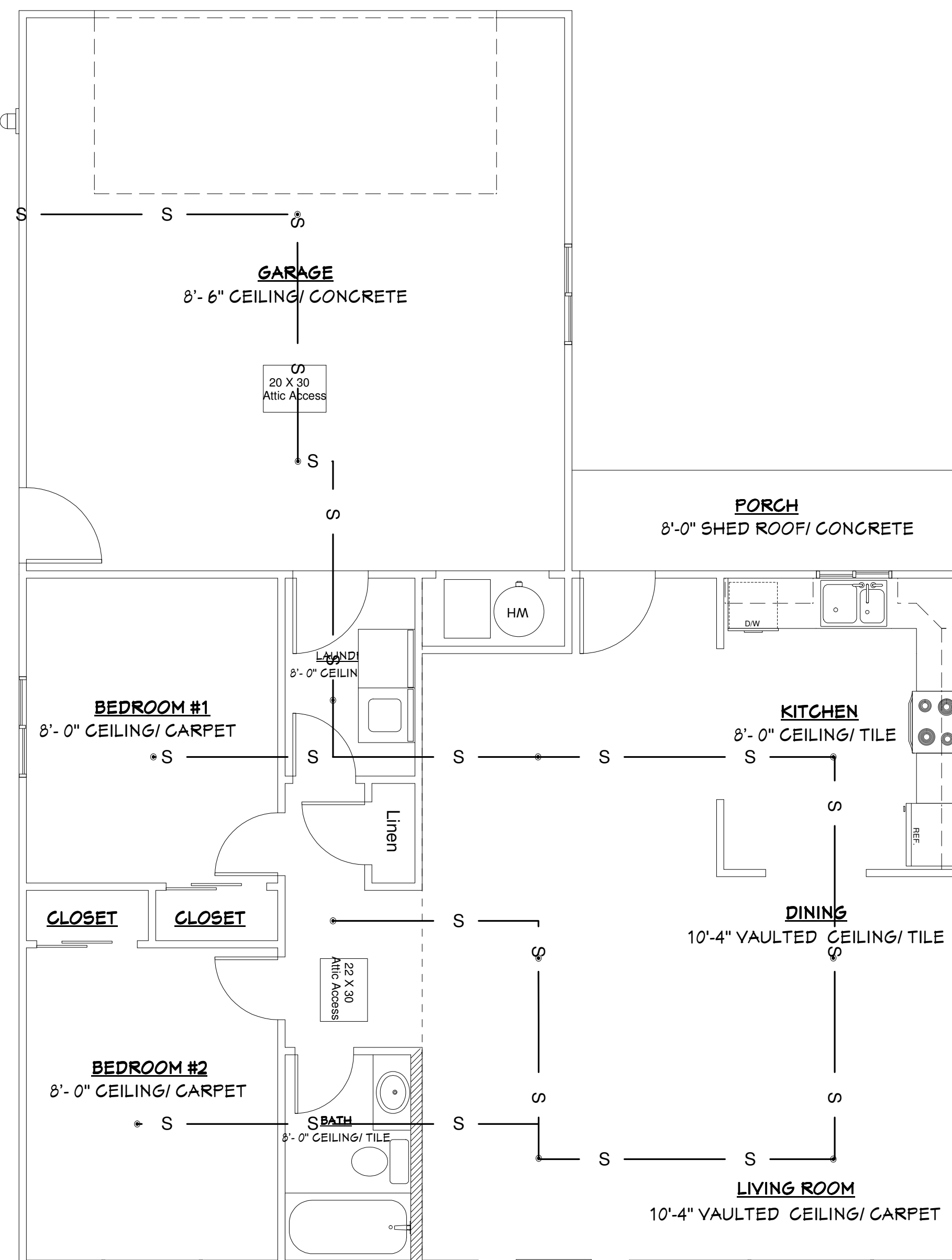
OWNER NAME	Tom Krauss
OWNER MAILING ADDR.	Po Box 55345 Hayward, Ca 94545
OWNER PH.	Home: 510-410-2129 Cell:
SITE ADDRESS	LAKE VIEW DR COUNTY OF MODOC, CA UNIT 1B LOT 3
SITE APN	039-342-0311
DATE	8-29-2015
DRAWN BY	Mark Sweeney DBA Shear Force Drafting
SCALE	1/4" = 1'-0"
JOB NO.	1503

**FIRE SPRINKLER DESIGN**

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BRANCH LAYOUT  
TYCO SERIES (LFI) RESIDENTIAL CONCEALED PENDENT SPRINKLERS MODEL (TY3596)  
TWO BACK FLOW VALVE, MAIN SHUTOFF VALVE & WATER PRESSURE GAUGE

1" RED PLASTIC PIPE S



**WALL LEGEND**

2 x 4 WALLS	[Symbol]
2 x 6 WALLS	[Symbol]

LIVING AREA	1,055 sq ft
GARAGE	490 sq ft
COVERED PORCH	64 sq ft

**FIRE SPRINKLER DESIGN**

SCALE: 1/4" = 1'-0"